HOLLYWOOD CENTER - ALTERNATIVE 08

LOS ANGELES, CA

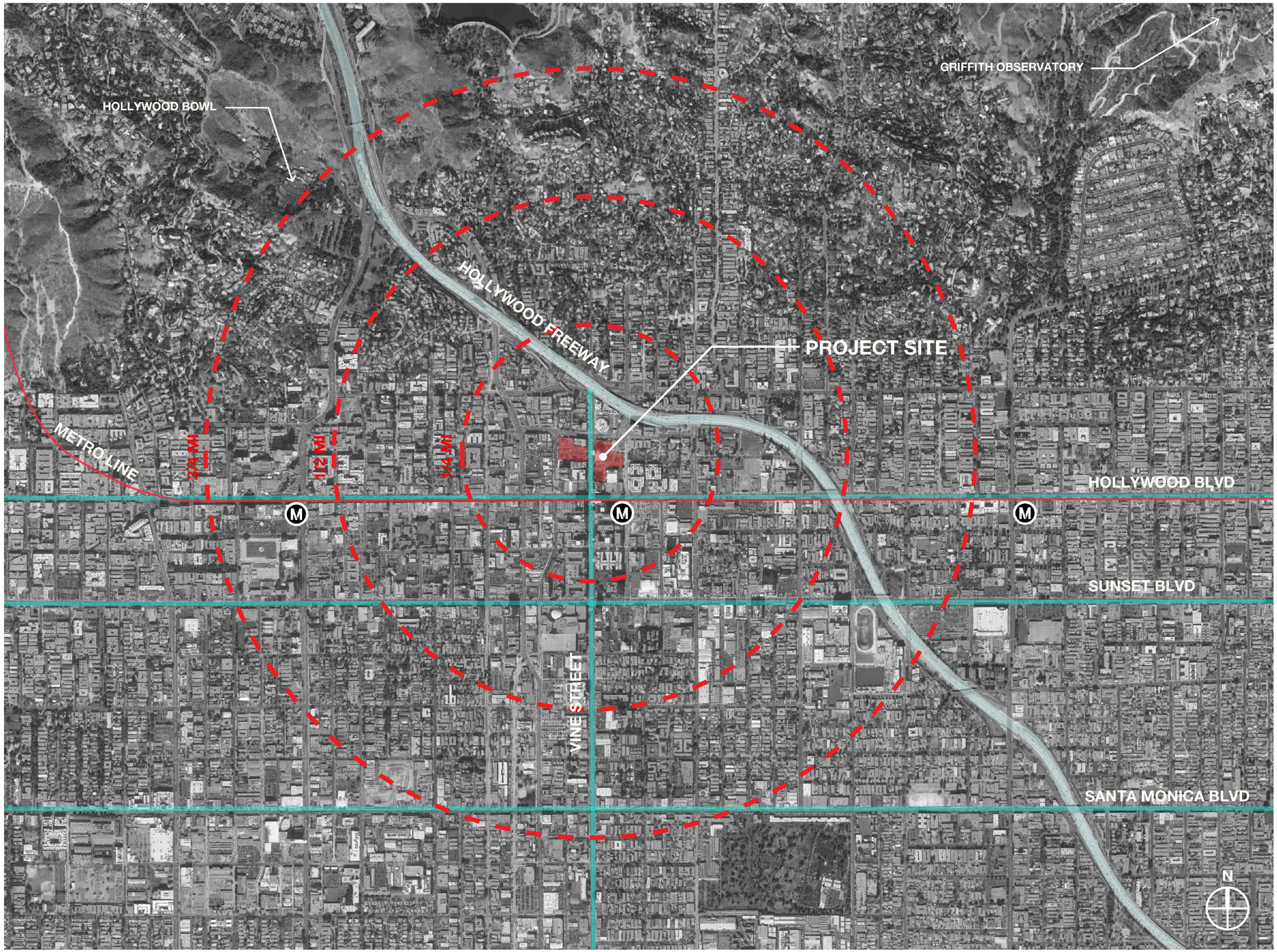
JUNE 2020

DRAWING LIST

DWG. NO.	DRAWING TITLE	SCALE	JUNE 2020
ARCHITECTURAL			
T-001.00	COVER SHEET	N/A	X
G-000 - PROJECT INFORMATION			
G-001	NOT USED		
G-002	VICINITY PLAN	N/A	X
G-003	SURVEY DESCRIPTION	N/A	X
G-004	SURVEY OVERALL SITE	N/A	X
G-005	SURVEY WEST SITE	N/A	X
G-006	SURVEY EAST SITE	N/A	X
G-007	PROJECT SUMMARY	N/A	X
G-008	WEST SITE - DATA	N/A	X
G-009	WEST SITE - OPEN SPACE	N/A	X
G-010	EAST SITE - DATA	N/A	X
G-011	WEST SITE - PLOT PLAN	1"=20'	X
G-012	EAST SITE - PLOT PLAN	1"=20'	X
A-100 - FLOOR PLANS			
A-100	FULL SITE PLAN	1/16" = 1'-0"	X
A-101	WEST SITE - LEVEL B5	1/16" = 1'-0"	X
A-102	WEST SITE - LEVEL B4	1/16" = 1'-0"	X
A-103	WEST SITE - LEVEL B3	1/16" = 1'-0"	X
A-104	WEST SITE - LEVEL B2	1/16" = 1'-0"	X
A-105	WEST SITE - LEVEL B1	1/16" = 1'-0"	X
A-106	WEST SITE - LEVEL 01 (VINE)	1/16" = 1'-0"	X
A-107	WEST SITE - LEVEL 01_M (IVAR)	1/16" = 1'-0"	X
A-108	WEST SITE - LEVEL 02	1/16" = 1'-0"	X
A-109	WEST SITE - TYPICAL TOWER LOWER TIER LEVEL 02-24	1/16" = 1'-0"	X
A-110	WEST SITE - AFFORDABLE PH	1/16" = 1'-0"	X
A-111	WEST SITE - LEVELS 25 MECHANICAL	1/16" = 1'-0"	X
A-112	WEST SITE - LEVEL 26-27	1/16" = 1'-0"	X
A-113	WEST SITE - TYPICAL TOWER HIGHER TIER LEVEL 26-47	1/16" = 1'-0"	X
A-114	WEST SITE - LEVEL 48 PENTHOUSE	1/16" = 1'-0"	X
A-115	WEST SITE - MECHANICAL PENTHOUSE	1/16" = 1'-0"	X
A-116	WEST SITE - ROOF	1/16" = 1'-0"	X
A-121	EAST SITE - LEVEL B7	1/16" = 1'-0"	X
A-122	EAST SITE - LEVEL B6-B3	1/16" = 1'-0"	X
A-123	EAST SITE - LEVEL B2	1/16" = 1'-0"	X
A-124	EAST SITE - LEVEL B1	1/16" = 1'-0"	X
A-125	EAST SITE - LEVEL 01 (VINE)	1/16" = 1'-0"	X
A-126	EAST SITE - LEVEL 01 (ARGYLE)	1/16" = 1'-0"	X
A-127	EAST SITE - LEVEL 01 MEZZ	1/16" = 1'-0"	X
A-128	EAST SITE - LEVEL 02-08 & 10-11	1/16" = 1'-0"	X
A-129	EAST SITE - LEVEL 09 MECHANICAL	1/16" = 1'-0"	X
A-130	EAST SITE - LEVELS 12 - 13	1/16" = 1'-0"	X
A-131	EAST SITE - LEVELS 14 - 15	1/16" = 1'-0"	X
A-132	EAST SITE - LEVELS 16 - 17	1/16" = 1'-0"	X
A-133	EAST SITE - MECHANICAL PENTHOUSE	1/16" = 1'-0"	X
A-134	EAST SITE - ROOF	1/16" = 1'-0"	X
A-141	WEST SITE - ENLARGED RETAIL PLANS	3/32" = 1'-0"	X
A-142	WEST SITE - ENLARGED RETAIL PLANS	3/32" = 1'-0"	X
A-143	EAST SITE - ENLARGED RETAIL PLANS	3/32" = 1'-0"	X
A-151	WEST SITE - ENLARGED AMENITY DECK PLAN	3/32" = 1'-0"	X
A-152	WEST SITE - ENLARGED AMENITY DECK	3/32" = 1'-0"	X
A-153	EAST SITE - AMENITY DECK PLAN	1/8" = 1'-0"	X
A-161	WEST SITE - ENLARGED UNIT PLANS	1/8" = 1'-0"	X
A-200 - ELEVATIONS			
A-201	WEST SITE - NORTH ELEVATION	1/32" = 1'-0"	X
A-202	WEST SITE - EAST ELEVATION	1/32" = 1'-0"	X
A-203	WEST SITE - SOUTH ELEVATION	1/32" = 1'-0"	X
A-204	WEST SITE - WEST ELEVATION	1/32" = 1'-0"	X
A-205	EAST SITE - NORTH ELEVATION	1/32" = 1'-0"	X
A-206	EAST SITE - EAST ELEVATION	1/32" = 1'-0"	X
A-207	EAST SITE - SOUTH ELEVATION	1/32" = 1'-0"	X
A-208	EAST SITE - WEST ELEVATION	1/32" = 1'-0"	X
A-300 - SECTIONS			
A-301	WEST SITE - BUILDING SECTION E-W	1/32" = 1'-0"	X
A-302	WEST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
A-303	WEST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
A-304	EAST SITE - BUILDING SECTION E-W	1/32" = 1'-0"	X
A-305	EAST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
A-306	EAST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
A-400 - RENDERLING			
A-401	PROJECT RENDERING	N/A	X
L-100 - LANDSCAPE			
L-001	OVERALL LANDSCAPE SITE PLAN	AS INDICATED	X
L-101	OVERALL GROUND FLOOR SITE PLAN	AS INDICATED	X
L-102	WEST SITE GROUND FLOOR PLAN	AS INDICATED	X
L-103	EAST SITE GROUND FLOOR PLAN	AS INDICATED	X
L-113-1	GROUND FLOOR PLANTING REFERENCE IMAGES	AS INDICATED	X
L-121	OVERALL AMENITY TERRACES SITE PLAN	AS INDICATED	X
L-122	WEST SITE AMENITY TERRACES PLAN	AS INDICATED	X
L-123	EAST SITE AMENITY TERRACES PLAN	AS INDICATED	X
L-124	EAST AMENITY LANDSCAPE ENLARGED	AS INDICATED	X
L-133	AMENITY TERRACES PLANTING REFERENCE IMAGES	AS INDICATED	X

ENTITLEMENT SUBMISSION JUNE 2020

APPLICANT	ARCHITECT	LANDSCAPE ARCHITECT	SURVEY
MCAF VINE LLC 1996 BROADWAY, 3RD FLOOR NEW YORK, NY 10023 212.875.4900	HANDEL ARCHITECTS LLP 120 BROADWAY, 6TH FLOOR NEW YORK, NY 10271 212.595.4112	JAMES CORNER FIELD OPERATIONS 475 TENTH AVENUE, 9TH FL NEW YORK, NY 10018 212.433.1450	KPFF 700 S. FLOWER STREET, SUITE 2100 LOS ANGELES, CA 90017 213.418.0201



HOLLYWOOD CENTER

APPLICANT

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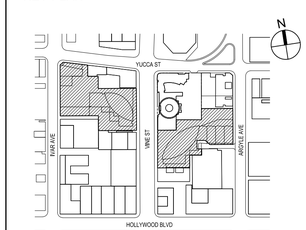
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

VICINITY PLAN

DRAWING NO:

G-002

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SURVEY DESCRIPTION

SCALE: NTS

DESIGN SURVEY

LEGAL DESCRIPTION

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: (PORTION OF 5546-030-028)

THAT PORTION OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE WHICH IS PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF VINE STREET, 100 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT.

EXCEPT THAT PORTION OF SAID LAND LYING SOUTHERLY OF A LINE WHICH IS PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT 1 AND DISTANT 119.96 FEET NORTHERLY THEREFROM, MEASURED AT RIGHT ANGLES.

PARCEL B: (REMAINDER OF 5546-030-028)

THE SOUTH 58 FEET OF LOT 12 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C: (5546-030-031)

THE EAST 50 FEET OF THE NORTH 2 FEET OF LOT 12 OF CENTRAL HOLLYWOOD TRACT NO. 2, AND THE EAST 50 FEET OF LOT 13 OF SAID CENTRAL HOLLYWOOD TRACT NO. 2, WITH THE EXCEPTION OF THAT PORTION DEEDED TO THE CITY FOR STREET PURPOSES OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL D: (5546-030-032)

THE WEST 100 FEET OF LOTS 12 AND 13 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE SOUTH 58 FEET OF SAID LOT 12.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND INCLUDED WITHIN THE LINES OF YUCCA STREET AS DESCRIBED IN LOS ANGELES COUNTY SUPERIOR COURT CASE NO. 202550, NOTICE OF PENDENCY OF SAID ACTION WAS RECORDED ON AUGUST 06, 1926 AS INSTRUMENT NO. 1775, IN BOOK 6018, PAGE 270 OF OFFICIAL RECORDS, IN SAID OFFICE OF THE COUNTY RECORDER.

SAID PROPERTY IS ALSO KNOWN AS AND IS DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 1, TRACT NO. 18237, AS PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA, SAID POINT BEING ON THE EASTERLY RIGHT OF WAY OF VINE STREET 100 FEET WIDE; THENCE NORTH 00°15'52" WEST 119.96 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°15'52" WEST 297.05 FEET; THENCE NORTH 89°52'48" EAST 150.02 FEET; THENCE SOUTH 00°15'52" EAST 24.00 FEET TO THE SOUTHERLY RIGHT OF WAY OF YUCCA STREET 94 FEET WIDE; THENCE NORTH 89°52'48" EAST 59.95 FEET; THENCE SOUTH 00°15'52" EAST 272.10 FEET; THENCE SOUTH 89°37'21" WEST 27.30 FEET TO A POINT WHICH IS 232.67 FEET PARALLEL WITH AND EASTERLY OF THE CENTERLINE OF VINE STREET 100 FEET WIDE; THENCE SOUTH 89°37'21" WEST 182.67 FEET TO THE POINT OF BEGINNING.

PARCEL E:

A NON-EXCLUSIVE EASEMENT FOR PARKING SPACES AS SET FORTH IN THAT CERTAIN UNRECORDED PARKING EASEMENT AGREEMENT DATED AS OF MARCH 27, 2001, SUBJECT TO THE TERMS THEREIN PROVIDED, AS DISCLOSED BY THAT CERTAIN INSTRUMENT ENTITLED "MEMORANDUM OF PARKING EASEMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01-0528743 OF OFFICIAL RECORDS, AND SUBJECT TO THE TERMS AND PROVISION OF THAT CERTAIN "SUBORDINATION, NON- DISTURBANCE AND ATTORNMENT AGREEMENT", RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01- 0528748 OF OFFICIAL RECORDS, SAID PARKING SPACES ARE LOCATED ON THE PROPERTY DESCRIBED IN EXHIBIT "B" ATTACHED TO SAID MEMORANDUM OF PARKING EASEMENT AGREEMENT.

PARCEL F: (5546-004-020; 5546-004-021)

LOTS 20, 21 AND THOSE PORTIONS OF LOTS 19 AND 22 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF SAID LOT 19, DISTANT NORTHERLY THEREON, 400.23 FEET FROM THE NORTH LINE OF HOLLYWOOD BOULEVARD, 100.00 FEET WIDE, AS ESTABLISHED BY THE CITY ENGINEER OF SAID CITY, MEASURED ALONG THE EASTERLY LINES OF LOTS 13 TO 19 INCLUSIVE IN SAID BLOCK 21; THENCE WESTERLY IN A DIRECT LINE, A DISTANCE OF 181.50 FEET TO A POINT IN THE WEST LINE OF SAID LOT 19, DISTANT NORTHERLY, THEREON 400.39 FEET, MEASURED ALONG THE WESTERLY LINE OF SAID LOT 13 TO 19 INCLUSIVE OF SAID BLOCK FROM THE NORTHERLY LINE OF SAID HOLLYWOOD BOULEVARD; THENCE NORTHERLY ALONG THE WESTERLY LINES OF SAID LOTS 19, 20, 21 AND 22; THENCE THE NORTHERLY LINE OF THE SOUTHERLY 17.00 FEET OF SAID LOT 22; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF SAID LOT 22; THENCE SOUTHERLY ALONG THE EASTERLY LINES OF SAID LOTS 22, 21, 20 AND 19 TO THE POINT OF BEGINNING.

PARCEL G: (5546-004-006)

LOTS 3, 4 AND THOSE PORTIONS OF LOTS 2 AND 5 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF THE SOUTH 16.80 FEET OF SAID LOT 5 WITH THE EASTERLY LINE THEREOF; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE WESTERLY LINE OF SAID LOT 5; THENCE NORTHERLY ALONG THE WESTERLY LINES OF SAID LOT 5, 4, 3 AND 2 OF SAID BLOCK, TO THE NORTHERLY LINE OF THE SOUTHERLY 9.80 FEET OF SAID LOT 2; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTHERLY ALONG THE EASTERLY LINES OF SAID LOTS 2, 3, 4 AND 5 TO THE POINT OF BEGINNING.

PARCEL H: (5546-004-029; 5546-004-032)

THOSE PORTIONS OF LOTS 1 AND 2 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 2, WHICH IS A POINT IN THE EAST LINE OF IVAR AVENUE (70 FEET WIDE); THENCE ALONG THE WEST LINE OF SAID LOT 1 NORTH 00°05'30" EAST 5.31 FEET, MORE OR LESS, TO THE SOUTHERLY LINE OF YUCCA STREET, AS DESCRIBED IN PARCEL 117 OF DECREE OF CONDEMNATION ENTERED IN CASE NO. 202-550 OF THE SUPERIOR COURT OF SAID COUNTY, AS CERTIFIED COPY OF SAID DECREE BEING RECORDED ON OCTOBER 18, 1929 AS INSTRUMENT NO. 1085, IN BOOK 9421, PAGE 173 OF OFFICIAL RECORDS, IN THE OFFICE OF SAID RECORDER; THENCE ALONG SAID YUCCA STREET NORTH 48°33'16" EAST 13.26 FEET AND SOUTH 82°58'58" EAST 122.48 FEET, MORE OR LESS, TO THE WEST LINE OF THE EAST 50.00 FEET OF SAID LOTS 1 AND 2; THENCE SOUTHERLY ALONG THE LAST MENTIONED WEST LINE 54.50 FEET, MORE OR LESS, TO THE NORTH LINE OF THE SOUTH 9.89 FEET OF SAID LOT 2; THENCE WESTERLY ALONG SAID NORTH LINE 131.50 FEET TO THE WEST LINE OF SAID LOT 2; THENCE ALONG SAID WEST LINE 55.20 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL I:

PARCEL 1: (APN: 5546-030-033)

THAT PORTION OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY SOUTHWEST CORNER OF SAID LOT; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT TO A LINE WHICH IS PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT 1 AND DISTANT 119.96 FEET NORTHERLY THEREFROM MEASURED AT RIGHT ANGLES, TO SAID SOUTHERLY LINE; THENCE EASTERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A LINE WHICH IS PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY MEASURED A RIGHT ANGLES FROM THE CENTER LINE OF VINE STREET 100.00 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT NO. 18237; THENCE NORTHERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A POINT IN THE NORTHERLY LINE OF SAID LOT 1; THENCE NORTH 89° 52' 27" EAST ALONG SAID LAST MENTIONED NORTHERLY LINE TO THE EASTERLY TERMINUS OF THAT CERTAIN COURSE IN THE NORTHERLY LINE OF SAID LOT SHOWN ON THE MAP OF SAID TRACT AS HAVING A BEARING AND LENGTH OF SOUTH 89° 52' 27" WEST 195.04 FEET; THENCE SOUTHERLY ALONG A TANGENT CURVE IN THE BOUNDARY LINE OF SAID LOT CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 14.49 FEET AND AN ARC LENGTH OF 23.51 FEET TO THE END THEREOF; THENCE SOUTH 0° 16' 00" EAST ALONG THE EASTERLY LINE OF SAID LOT, TO A POINT 171.50 FEET, NORTHERLY MEASURED ALONG SAID EASTERLY LINE FROM THE SOUTHEASTERLY CORNER OF SAID LOT, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 0° 16' 00" EAST ALONG SAID EASTERLY LINE 171.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE SOUTH 89° 37' 45" WEST 109.50 FEET ALONG THE SOUTHERLY LINE OF SAID LOT TO AN ANGLE POINT THEREIN; THENCE CONTINUING ALONG SAID SOUTHERLY LINE NORTH 48° 55' 41" WEST 30.21 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 89° 37' 45" WEST ALONG THE SOUTHERLY LINE OF SAID LOT AND ITS WESTERLY PROLONGATION SHOWN ON SAID MAP AS HAVING A BEARING OF SOUTH 89° 37' 45" WEST AND A LENGTH OF 39.92 FEET TO A LINE WHICH IS PARALLEL WITH AND DISTANT 232.67 FEET EASTERLY MEASURED AT RIGHT ANGLES FROM THE CENTER LINE OF VINE STREET ABOVE DESCRIBED; THENCE NORTHERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A POINT ON THE LINE ABOVE DESCRIBED AS BEING PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT; THENCE EASTERLY ALONG SAID LINE TO THE LINE ABOVE DESCRIBED AS BEING PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY OF THE CENTER LINE OF VINE STREET; THENCE NORTHERLY ALONG SAID PARALLEL LINE TO THE INTERSECTION WITH A LINE PERPENDICULAR TO THE LINE ABOVE DESCRIBED AS THE EASTERLY LINE OF SAID LOT AT THE TRUE POINT OF BEGINNING; THENCE NORTH 89° 44' EAST ALONG SAID PERPENDICULAR LINE TO THE TRUE POINT OF BEGINNING.

SAID LAND IS ALSO KNOWN AS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 1, TRACT NO. 18237, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, CALIFORNIA, SAID POINT BEING ON THE EASTERLY RIGHT OF WAY OF VINE STREET 100' WIDE; THENCE N00 DEGREES 15'52"W 119.96', THENCE N89 DEGREES 37'21"E 182.67' TO THE TRUE POINT OF BEGINNING, THENCE; N89 DEGREES 37'21"E 27.30'; THENCE N00 DEGREES 15'52"W 101.80'; THENCE N89 DEGREES 44'08"E 150.07' TO THE WESTERLY RIGHT OF WAY OF ARGYLE AVENUE 75' WIDE; THENCE SOUTHERLY ALONG SAID RIGHT OF WAY; S00 DEGREES 15'48"E 171.50' TO THE NORTHERLY RIGHT OF WAY OF A PUBLICLY DEDICATED ALLEY WAY BEING 20' WIDE THENCE ALONG SAID RIGHT OF WAY; S89 DEGREES 37'21"W 109.50' THENCE; N48 DEGREES 56'05"W 30.22' THENCE; S89 DEGREES 37'21"W 45.18' TO A POINT WHICH BEARS S00 DEGREES 15'52"E FROM THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N00 DEGREES 15'52"E 49.99' RETURNING TO THE POINT OF BEGINNING.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR PARKING SPACES AS SET FORTH IN THAT CERTAIN UNRECORDED PARKING EASEMENT AGREEMENT DATED AS OF MARCH 27, 2001, SUBJECT TO THE TERMS THEREIN PROVIDED, AS DISCLOSED BY THAT CERTAIN INSTRUMENT ENTITLED "MEMORANDUM OF PARKING EASEMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01-528743, OFFICIAL RECORDS; AND SUBJECT TO THE TERMS AND PROVISIONS OF THAT CERTAIN "SUBORDINATION, NON- DISTURBANCE AND ATTORNMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01- 0528748 OF OFFICIAL RECORDS. SAID PARKING SPACES ARE LOCATED ON THE PROPERTY DESCRIBED IN EXHIBIT B ATTACHED TO SAID MEMORANDUM OF PARKING EASEMENT AGREEMENT.

LEGAL DESCRIPTION

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018) (CONTINUED)

PARCEL J: (APN 5546-030-034)

THOSE PORTIONS OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND LOT 6 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6 OF THE CENTRAL HOLLYWOOD TRACT NO. 2, PER MAP RECORDED IN BOOK 6 PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 6, NORTH 89° 37' 45" EAST 153.00 FEET, MORE OR LESS, TO THE WESTERLY LINE OF THE EASTERLY 87.00 FEET OF SAID LOT 6; THENCE NORTH 0° 15' 52" WEST 60.00 FEET TO THE SOUTHERLY LINE OF LOT 1 OF TRACT NO. 18237, PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE, ALONG THE BOUNDARY OF SAID LOT 1, NORTH 89° 37' 45" EAST 57.00 FEET, NORTH 0° 16' 00" WEST 30.00 FEET, SOUTH 89° 37' 45" WEST 22.03 FEET, AND NORTH 0° 22' 15" WEST 40.00 FEET; THENCE SOUTH 89° 37' 45" WEST 5.22 FEET, MORE OR LESS, ALONG THE WESTERLY PROLONGATION OF A COURSE IN THE SOUTHERLY BOUNDARY OF SAID LOT 1, TO A LINE WHICH IS PARALLEL WITH AND DISTANT 232.67 FEET EASTERLY MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF VINE STREET (100 FEET WIDE); THENCE NORTH 0° 15' 52" WEST 49.97 FEET, MORE OR LESS, ALONG LAST SAID PARALLEL LINE TO A LINE WHICH IS PARALLEL WITH AND 119.96 FEET NORTHERLY, MEASURED AT RIGHT ANGLES, FROM THE MOST SOUTHERLY BOUNDARY LINE OF SAID LOT 1; THENCE SOUTH 89° 37' 45" WEST 182.67 FEET TO THE EAST LINE OF VINE STREET; THENCE SOUTH 0° 15' 52" EAST 179.96 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON THAT CERTAIN CERTIFICATE OF COMPLIANCE RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01-528740.

EXCEPTIONS

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018)

THE FOLLOWING MATTERS AFFECT PARCELS A, B, C, D & E:

(3) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC STREET AND HIGHWAY
RECORDING DATE:OCTOBER 18, 1929
RECORDING DATE:1085, IN BOOK 9421, PAGE 173, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

(4) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: MAY 16, 1955
RECORDING NO: 2621, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

(5) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JUNE 21, 1957
RECORDING NO: 3761, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

8. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.

RECORDING DATE: DECEMBER 18, 2000
RECORDING NO.: 00-1966012, OFFICIAL RECORDS

REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS AFFECTING PARCELS A, B, C, D & E NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

THE FOLLOWING MATTERS AFFECT PARCELS F & G:

22. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.

RECORDING DATE: FEBRUARY 23, 2001
RECORDING NO.: 01-0207395, OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS AFFECTING PARCELS F & G NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

THE FOLLOWING MATTERS AFFECT PARCEL H:

(28) AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR

PURPOSE(S): FUTURE STREET
RECORDING DATE: JULY 14, 1987
RECORDING NO: 87-1112284 OF OFFICIAL RECORDS

AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

LIMITATIONS ON THE USE, BY THE OWNERS OF SAID LAND, OF THE EASEMENT AREA AS SET FORTH IN THE EASEMENT DOCUMENT SHOWN HERE IN ABOVE.

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

SAID OFFER WAS ACCEPTED BY RESOLUTION, A CERTIFIED COPY OF WHICH WAS RECORDED APRIL 12, 1989 AS INSTRUMENT NO. 89- 567553 OF OFFICIAL RECORDS.

MATTERS AFFECTING PARCEL H NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

MATTERS AFFECTING PARCELS I & J NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

VICINITY MAP
NOT TO SCALE

AREAS

TOTAL EXISTING PROPERTY AREA
194,495 SQ. FT. OR 4.465 AC.

TOTAL PROPOSED SIDEWALK EASEMENT AREA
5,163 SQ. FT. OR 0.119 AC.

TOTAL PROPOSED ALLEY MERGER AREA
1,267 SQ. FT. OR 0.029 AC.

TOTAL AREA FOR F.A.R. CALCULATIONS
200,925 SQ. FT. OR 4.613 AC.

STREET DESIGNATIONS

IVAR AVENUE	LOCAL STREET STD.
YUCCA STREET WEST	AVENUE II
VINE STREET	AVENUE II
YUCCA STREET EAST	LOCAL STREET STD.
ARGYLE AVENUE	LOCAL STREET STD.

COMMENTS

BOUNDARY LINES . . . WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

(#) . . . . . INDICATES PRELIMINARY TITLE REPORT EXCEPTION NUMBER PLOTTED HEREON

SITE ADDRESS . . . . 1749, 1755, 1777 VINE STREET, 1754 IVAR AVENUE, AND 6334 YUCCA STREET, LOS ANGELES, CA

APN NO. . . . . 5546-004-006, 5546-004-020, 5546-004-021, 5546-004-029, 5546-004-030, 5546-004-032, 5546-030-028, 5546-030-029, 5546-030-031, 5546-030-032, 5546-030-033, & 5546-030-034 (PORTION)

DATE OF SURVEY . . . FEBRUARY 11, 2018

BASIS OF BEARINGS . . THE BEARING OF N0°16'00"W ALONG THE CENTERLINE OF VINE STREET AS SHOWN ON TRACT No. 60544, AS FILED IN BOOK 1325, PAGES 54 & 55, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCH MARK . . . . CITY OF LA BM# 12-20689,
1FT N/O N CURB YUCCA ST 3FT E/O BCR E/O VINE ST W/S CS

ELEV. = 400.846 FT; NGVD 1929, RECORDED 1985

FLOOD INSURANCE RATE MAP . . . . . SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 06037C1605F, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, FOR COMMUNITY NUMBER 060043, IN COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

UTILITIES . . . . . ALL VISIBLE ABOVE-GROUND UTILITY FEATURES SHOWN ON THIS MAP WERE OBTAINED BY CONVENTIONAL MEANS. ABOVE-GROUND UTILITIES WERE COMBINED WITH CITY OF LA SUBSTRUCTURE MAPS TO PLOT UNDERGROUND UTILITY LINES SHOWN HEREON. NO REPRESENTATION IS MADE AS TO THE COMPLETENESS OF SAID UTILITY INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS . . . PUBLIC ACCESS TO SITE FROM YUCCA STREET, IVAR STREET, VINE STREET AND ARGYLE AVENUE.

ZONING . . . . . EXISTING: (T)(Q)C2-2-SN
ZONING INFORMATION WAS OBTAINED PER CITY OF LA ZIMAS WEBSITE DECEMBER 15, 2017
http://zimas.lacity.org/

SETBACKS
FRONT: NONE REQUIRED
SIDE: NONE REQUIRED
REAR: NONE REQUIRED

FAR: NO LIMIT

BUILDING HEIGHT: NO LIMIT

PREPARED UNDER THE DIRECTION OF:

Christopher Jones, PLS

Digitally signed by Christopher Jones, PLS
DN: C=US, E=chris.jones@kpff.com, O=KPFF, CN=LA Survey, CN="Christopher Jones, PLS"
Date: 2018.03.30 09:30:30-07'00'

03/30/2018

CHRISTOPHER JONES, PLS 8193 DATE

LICENSED LAND SURVEYOR CHRISTOPHER JONES No.8193 STATE OF CALIFORNIA

NO.	DATE	REVISIONS
6		
5		
4	18/03/30	AREA UPDATE
3	18/03/29	BOUNDARY AND AREA UPDATE
2	18/03/08	MAP UPDATE, TITLE REPORT & LEGAL UPDATE
1	18/02/15	MAP UPDATE

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

PREPARED FOR:

MAYER BROWN LLP
ATTN: MR. EDGAR KHALATIAN
350 SOUTH GRAND AVENUE, 25TH FLOOR
LOS ANGELES, CA 90071

kpff
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SHEET 1 OF 4

HOLLYWOOD CENTER

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F: 212.595.1831

ARCHITECT

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F: 212.595.9032

LANDSCAPE ARCHITECT

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F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

SURVEY DESCRIPTION

DRAWING NO:

G-003

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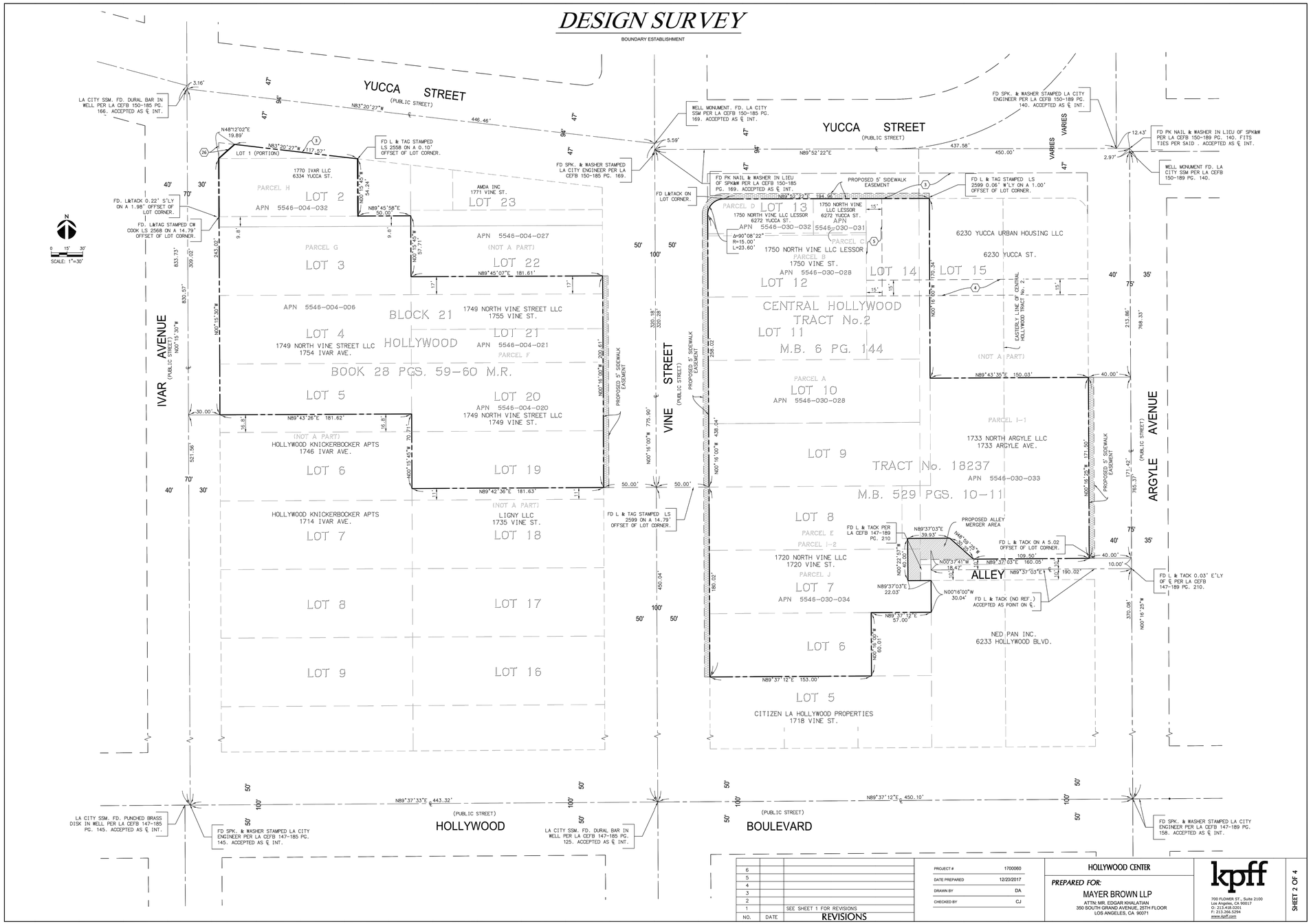
SURVEY OVERALL SITE

SCALE: NTS



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		SEE SHEET 1 FOR REVISIONS

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

PREPARED FOR:

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SHEET 2 OF 4

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY
OVERALL SITE

DRAWING NO:

G-004

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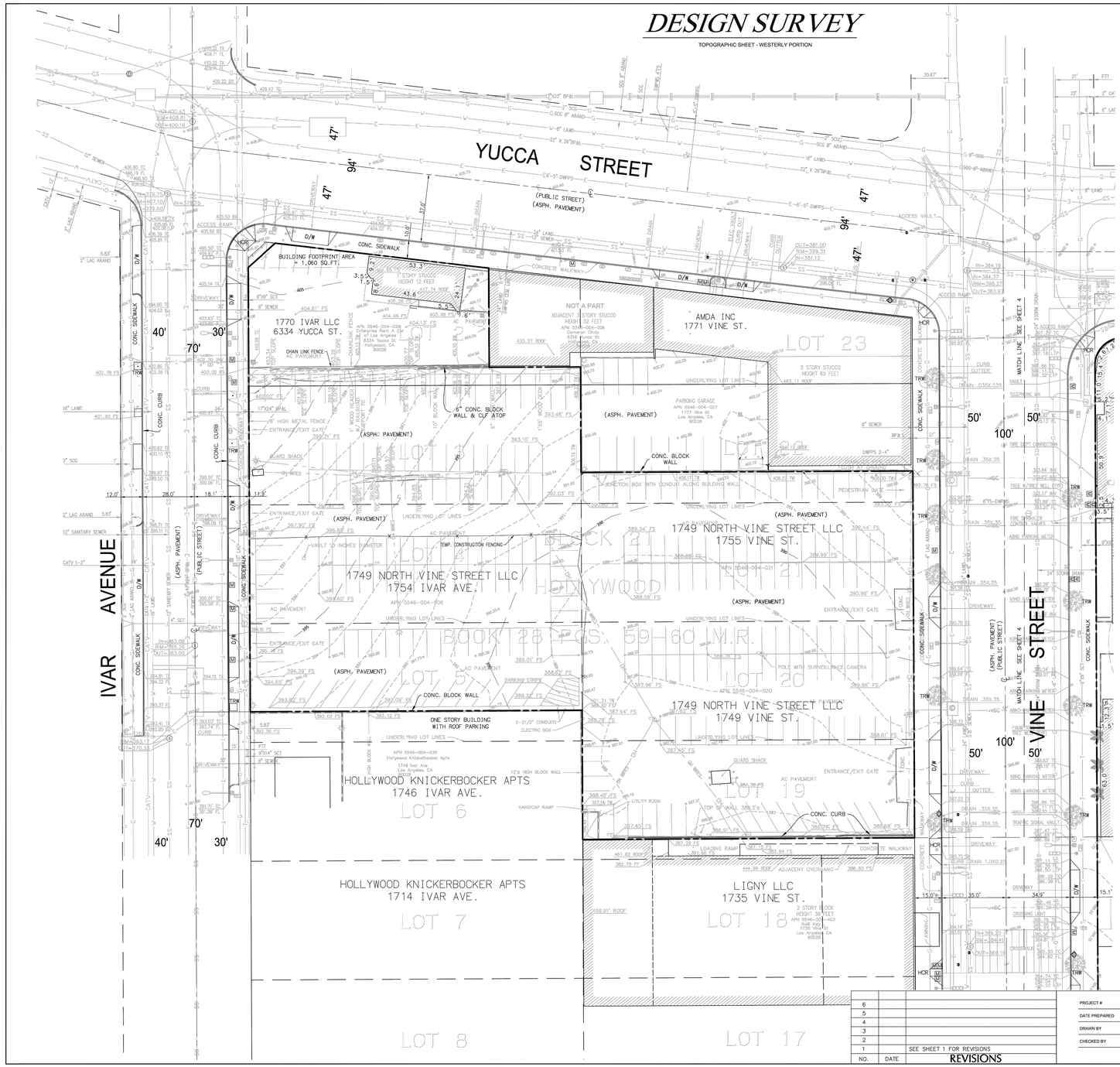
SURVEY WEST SITE

SCALE: NTS



ABBREVIATIONS

ASPH	ASPHALT
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BW	BACK OF WALK
CONC.	CONCRETE
CBW	CONCRETE BLOCK WALL
CD	CURB DRAIN
DI	DROP INLET
DG	DRAIN GRATE
D/W	DRIVEWAY APRON
ELEV	ELEVATION
ELEC.	ELECTRICAL
EV	ELECTRICAL VAULT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISH SURFACE (HARDSCAPE)
GV	GAS VALVE
HCR	HANDICAP RAMP
INV	INVERT OF PIPE
LA	LANDSCAPE AREA
LIP	LIP OF GUTTER
MH	MANHOLE
NTS	NOT TO SCALE
SCO	SEWER CLEANOUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SCT	SOUTHERN CALIFORNIA TELEPHONE
SL	STREET LIGHT
TC	TOP OF CURB
TRW	TREE WELL
TS	TRAFFIC SIGNAL
VLT	VAULT
WVLT	WATER VAULT
WV	WATER VALVE
N'LY	NORTHERLY
S'LY	SOUTHERLY
E'LY	EASTERLY
W'LY	WESTERLY
NE'LY	NORTHEASTERLY
NW'LY	NORTHWESTERLY
SE'LY	SOUTHEASTERLY
SW'LY	SOUTHWESTERLY
℄	CENTERLINE

LEGEND

AREA LIGHT
BOLLARD
DRAIN
ELECTRICAL MANHOLE
FIRE HYDRANT
FIRE DEPARTMENT CONNECTION
GAS VALVE
GAS METER
PARKING METER
STREET LIGHT
STREET LIGHT PULL BOX
SEWER MANHOLE
SEWER CLEAN OUT
SIGN
STORM DRAIN MANHOLE
TELEPHONE MANHOLE
TRAFFIC SIGNAL POLE
TRAFFIC SIGNAL PULLBOX
TREE
TREE PALM
UTILITY POLE
WATER VALVE
WATER METER
WATER MANHOLE
OVERHEAD LINE
CONCRETE CURB
WALL
CHAIN LINK FENCE
WROUGHT IRON FENCE

NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		SEE SHEET 1 FOR REVISIONS

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

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SHEET 3 OF 4

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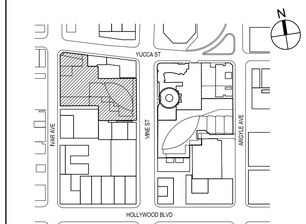
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY WEST SITE

DRAWING NO:

G-005

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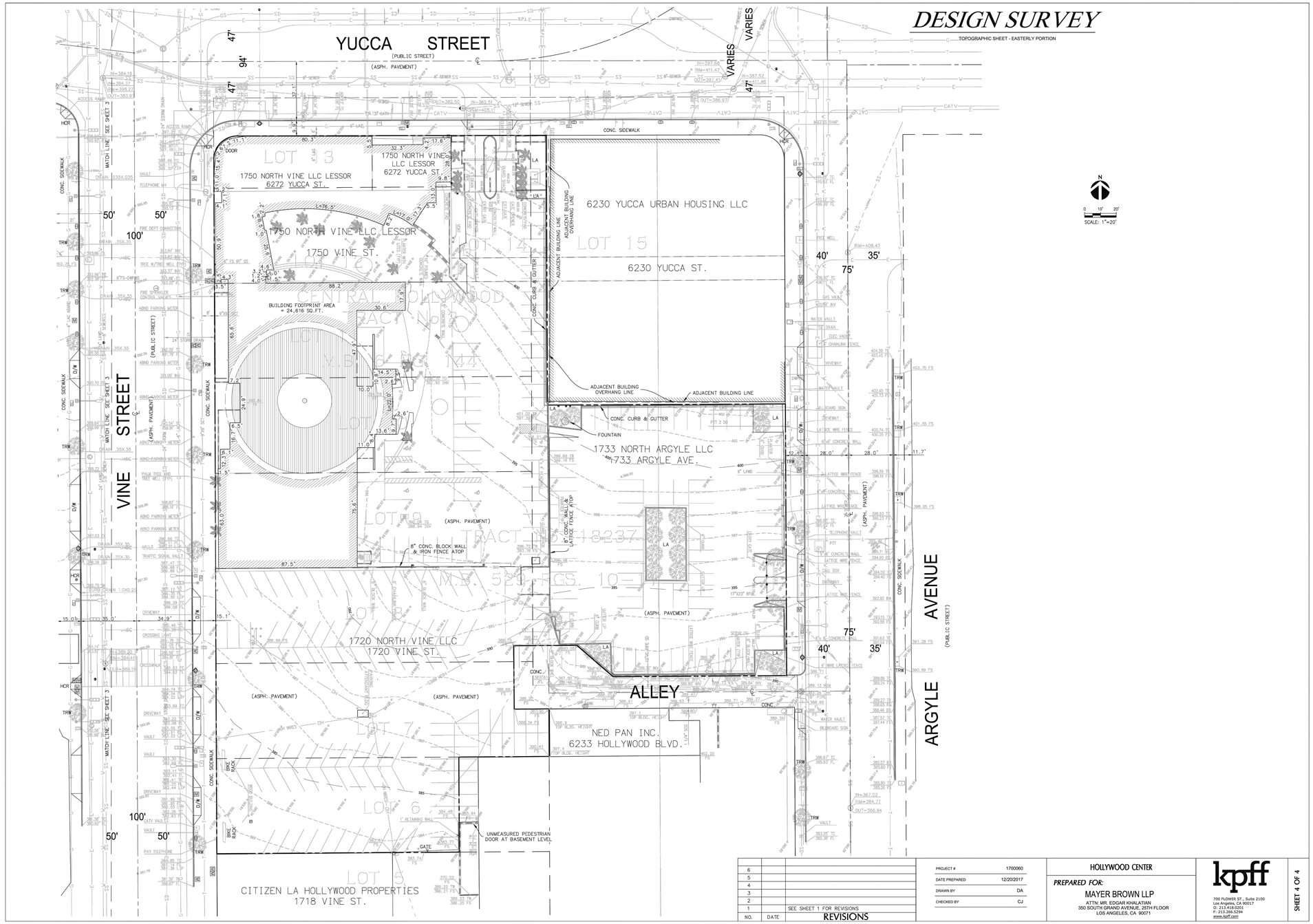
SURVEY EAST SITE

SCALE: NTS



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		SEE SHEET 1 FOR REVISIONS

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

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SHEET 4 OF 4

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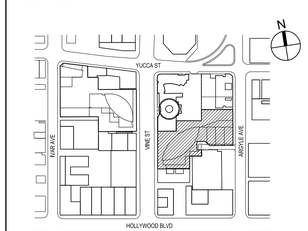
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY EAST SITE

DRAWING NO:

G-006

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UNIT MIX SUMMARY

	WEST	EAST	TOTAL
RESIDENTIAL BUILDINGS			
0BR	131	0	**131**
1BR	366	0	**366**
2BR	181	0	**181**
3BR	92	0	**92**
SUB-TOTAL	**770**	**0**	**770**
SENIOR BUILDINGS			
1BR	133	0	**133**
2BR	0	0	**0**
SUBTOTAL	**133**	**0**	**133**
TOTAL PROVIDED	**903**	**0**	**903**
TOTAL ALLOWED (200,925 / 200)			**1005**

PARKING & BIKE SUMMARY

	CAR		BIKE [3]			
			SHORT TERM		LONG TERM	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
Residential	1020	1,110	36	36	360	360
Commercial	1,023	1,127 [2]	48	49	82	81
TOTAL	2,043	2,237	84	85	442	441

1 PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

2 INCLUSIVE OF THE 97 CAPITOL RECORDS CofO

3 DOES NOT INCLUDE BIKE PARKING FOR EXISTING USES

RESIDENTIAL OPEN SPACE SUMMARY

	REQUIRED		PROVIDED
OPEN SPACE	**101,725**		**101,725**
PLANTING	**19,931**		**19,932**
TREES	**226**		**226**

PROJECT ADDRESS	6236-6334 West Yucca Street 1745-1770 North Vine Street 1733-1741 Argyle Avenue
GENERAL PLAN DESIGNATION	Regional Center Commercial
EXISTING ZONE	(T)(Q) C2-2-SN; C4-2D-SN
PROPOSED ZONE	C2-2-SN

APN & LEGAL

APN	LOT	ARB	BLOCK	TRACT
5546-030-028	LT 1	2	None	TR 18237
5546-030-031	FR 13	3	None	Central Hollywood Tract No. 2
5546-030-032	FR 13	2	None	Central Hollywood Tract No. 2
5546-030-033	LT 1	3	None	TR 18237
5546-030-034	FR 6	None	None	Central Hollywood Tract No. 2
5546-004-032	FR 1	None	21	Hollywood
5546-004-029	FR 2	1	21	Hollywood
5546-004-006	4	1	21	Hollywood
5546-004-020	21	2	21	Hollywood
5546-004-021	21	1	21	Hollywood

SITE SUMMARY

WEST SITE AREA		78,629	
EAST SITE AREA	+	115,866	
TOTAL SITE AREA		**194,495**	**SF**
EAST SITE ALLEY MERGER	+	1,313	
SIDEWALK MERGER AREA	+	5,163	**SF**
TOTAL PROJECT SITE LOT AREA		**200,971**	

TOTAL PROPOSED

BUILDABLE AREA @ 6.0 : 1 FAR (Base)		1,205,826	
BUILDABLE AREA @ 8.1 : 1 FAR (Density Bonus)		1,627,865	
WEST BUILDING		784,140	
WEST SENIOR BUILDING		102,211	
EAST BUILDING		400,749	
	+		
TOTAL NEW PROPOSED FLOOR AREA		1,287,100	SF
EXISTING CAPITOL RECORDS BUILDING	+	114,303	
TOTAL BUILDABLE AREA USED		1,401,403	**SF**
TOTAL FAR		6.973	

HOLLYWOOD CENTER

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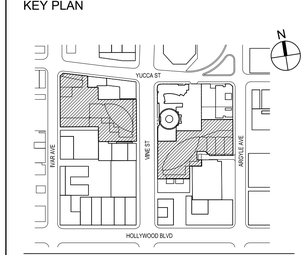
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

PROJECT SUMMARY

DRAWING NO:

G-007

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WEST SITE UNIT MIX

	TYPE	AVG. AREA	COUNT	AREA
WEST BUILDING	0BR	600 SF	131	78,600 SF
	1BR	800 SF	366	292,800 SF
	2BR	940 SF	181	170,140 SF
	3BR	1,044 SF	92	96,048 SF
	TOTAL		**770**	**637,588 SF ***
	TYPE	AVG. AREA	COUNT	AREA
WEST SENIOR BUILDING	1BR	612 SF	133	81,452 SF
	2BR	N/A	0	0 SF
	TOTAL		**133**	**81,452 SF ***
TOTAL			**903**	**719,040 ***

* NOTE: NUMBERS ARE ROUNDED UP TO THE NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN OR EQUAL TO .5

WEST SITE AREA BREAKDOWN

	TOTAL BUILDING PROGRAM *		PARKING	RETAIL / RESTAURANT	RESIDENTIAL	RESIDENTIAL AMENITY, LOBBIES, BOH
	LEVEL	ZONING FLOOR AREA (SF)	AREA PER FLOOR (SF) (ZFA)	AREA PER FLOOR (SF) (ZFA)	AREA PER FLOOR (SF) (ZFA)	AREA PER FLOOR (SF) (ZFA)
WEST SENIOR BUILDING	**IVAR GROUND**	1,965	-	-	-	1,965.1
	2	8,579	-	-	7,339.8	1,239.2
	3-10 (8 FLOORS)	83,334	-	-	83,333.6	-
	MECH PH	8,333	-	-	3,096	5,238
	SUB-TOTAL	**102,211 * ***	**-**	**-**	**93,769.2**	**8,441.9**
WEST BUILDING	**B5**	-	-	-	-	-
	B1-B4	-	-	-	-	-
	VINE GROUND	25,377	-	5,342.0	-	20,035.0
	1M	46,416	-	6,726.0		39,690.0
	2	15,162	-		7,290	7,872.0
	3-24 (LO-TIER, 22 FLOORS)	340,846	-		340,846.0	-
	25 (MECH FLOOR)	-	-	-	-	-
	26-47 (HI-TIER, 22 FLOORS)	340,846	-	-	340,846.0	-
	48 (PENTHOUSE)	15,493	-	-	15,493.0	-
	MECH PH	-	-	-	-	-
	SUB-TOTAL	**784,140 * ***	**-**	**12,068.0**	**704,475.0**	**67,597.0**
WEST SITE DEVELOPMENT TOTALS		**886,351 ***	**-**	**12,068.0**	**798,244.2**	**76,038.9**

* NOTE: NUMBERS ARE ROUNDED UP TO NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN .5

NOTES
1. ALL FIGURES APPROXIMATE
2. GROSS TO ZONING FACTOR ASSUMPTIONS: 4% RETAIL, 8% RESIDENTIAL, 8% HOTEL, 8% HOTEL COMMON, 8% SPORTS CLUB
3. ASSUMES HEIGHT AND NUMBER OF STORIES FOR EACH TOWER CALCULATED INDEPENDENTLY, AND THAT MECHANICAL FLOORS DO NOT COUNT AS STORIES

CAR PARKING WEST SITE

WEST BUILDING

UNIT TYPE	sp/br	# Units	Code Required	Provided
0 BR	1	131	131.0	131
1 BR	1	366	366.0	366
2 BR	1.5	181	272.0	272
3 BR	2	92	184.0	184
SUBTOTAL		770	**953.0**	**953**

WEST SENIOR BUILDING

	sp/br	# Units	Code Required	Provided
0 BR	0.5	0	0.0	0
1 BR	0.5	133	67.0	67
2 BR	0.5	0	0.0	0
SUBTOTAL		133	**67.0 ***	**67**

COMMERCIAL

Per 1000sf	2	12,068	**24.0**	**24**
Additional spaces				**90**

TOTAL PARKING SPACES	**1,044 ***	**1,134**
NUMBER OF EV SPACES (INCLUSIVE)		**340**

BIKE PARKING

LONG TERM				SHORT TERM	
Unit Range	sp/unit	# Units	Req/Prd	sp/unit	Req/Prd
1~25	1.00	25	25	0.100	2.50
26~100	0.67	75	50	0.067	5.00
101~200	0.50	100	50	0.050	5.00
200+	0.25	570	143	0.025	14.25
		770	268		**27.0**
sp/ unit		# Units	Req/Prd		
1~25	1.00	25	25	0.100	2.5
26~100	0.67	75	50	0.067	5.0
101~200	0.50	33	17	0.050	1.7
		133	92		**9.0**
1 / 2000sf		12,068	**6**		**6**
TOTAL BIKE SPACES REQUIRED & PROVIDED			**366**		**42**

* NOTE: PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

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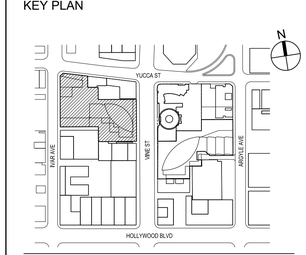
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - DATA

DRAWING NO:
G-008

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WEST SITE TREE CALCULATION	
PER LAMC SECTION 12.21 G.2 - MIN. 24" BOX TREE PER 4 UNITS REQUIRED	
TREES REQUIRED WITH 770 UNITS	192.50
TREES REQUIRED WITH 133 UNITS	33.25
TOTAL WEST SITE TREES REQUIRED	**226.00**
WEST SITE TREES PROVIDED:	215
WEST SITE STREET TREES PROVIDED:	11
TOTAL TREES PROVIDED	226

REFER TO LANDSCAPE SHEETS L-001 TO L-136 FOR ADDITIONAL INFORMATION

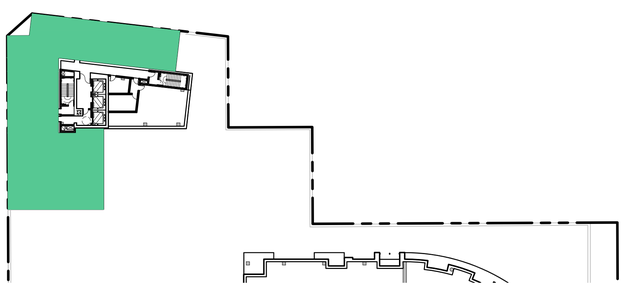
WEST SITE OPEN SPACE PROVIDED		
OUTDOOR COMMON OPEN SPACE		
West Site Paseo (Grade Level)	11,925	
West Bldg Sunken Garden (Mezz Level)	2,000	
West Bldg Amenity Deck (Level 2)	31,000	
Sr. Affordable Common Terrace (Level 2)	1,350	
Sr. Affordable Common Roof Terrace (Level 13)	7,250	
TOTAL OUTDOOR COMMON SPACE	**53,525**	**SF**
MIN. REQUIRED OUTDOOR COMMON SPACE (50% OF TOTAL)	*50,863*	
INDOOR AMENITY SPACES		
West BldgIndoor Amenities (Mezz Level)	14,500	
West BldgIndoor Amenities (Level 2)	7,000	
Sr. Affordable Multi-purpose Room (Level 2)	1,200	
Sr. Affordable Multi-purpose Room (Level 13)	3,500	
TOTAL INDOOR AMENITY SPACE	**26,200**	**SF**
MAX. PERMITTED INDOOR COMMON SPACE (25% OF TOTAL)	*25,431*	
PRIVATE OPEN SPACE		
West Bldg Private Residential Balconies	22,000	**SF**
MAX. PERMITTED PRIVATE OPEN SPACE (50% OF TOTAL)	*50,863*	
TOTAL OPEN SPACE PROVIDED	**101,725**	**SF**
TOTAL OPEN SPACE REQUIRED	**101,725**	**SF**

WEST SITE - OPEN SPACE REQUIRED			
WEST BUILDING			
UNIT TYPE (HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
0BR	131 DU	100 SF	13,100 SF
1BR	366 DU	100 SF	36,600 SF
2 BR	181 DU	125 SF	22,625 SF
3 BR	92 DU	175 SF	16,100 SF
TOTAL	**770 DU**		**88,425 SF**
WEST SENIOR BUILDING			
UNIT TYPE (HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
0BR	0 DU	100 SF	0 SF
1BR	133 DU	100 SF	13,300 SF
2 BR	0 DU	125 SF	0 SF
3 BR	0 DU	175 SF	0 SF
TOTAL	**133 DU**		**13,300 SF**

TOTAL 101,725 SF

PLANTING REQUIREMENT -		
25% OF COMMON OPEN SPACE IS REQUIRED TO BE PLANTED		
= 50,100 sf + 21,325 sf = 71,325 sf x 25%	19,931	SF
West Site Paseo (Grade Level) PLANTING	1,789	
West Bldg Sunken Garden (Mezz Level) PLANTING	1,200	
West Bldg Amenity Deck (Level 2) PLANTING	13,485	
Sr. Affordable Common Terrace (Level 2) PLANTING	543	
Sr. Affordable Common Roof Terrace (Level 13) PLANTING	2,915	
SF OF PLANTED COMMON OPEN SPACE PROVIDED	**19,932**	**SF**

LEGEND
- INDOOR AMENITY SPACE
- OUTDOOR COMMON SPACE
- SENIOR OUTDOOR COMMON SPACE
- BALCONY/TERRACE SPACE



SENIOR AFFORDABLE ROOF PLAN (4)
SCALE: NTS

SENIOR PENTHOUSE PLAN (3)
SCALE: NTS

LEVEL 2 AMENITY DECK (2)
SCALE: NTS

GROUND LEVEL PLAN (1)
SCALE: NTS

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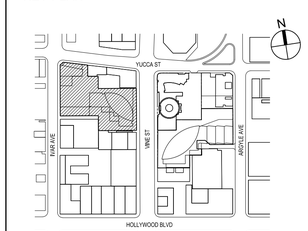

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WEST SITE - OPEN SPACE

DRAWING NO:
G-009

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EAST SITE AREA BREAKDOWN

	TOTAL BUILDING PROGRAM *		PARKING	RETAIL / RESTAURANT	OFFICE	OFFICE AMENITY, LOBBIES, BOH
	LEVEL	ZONING FLOOR AREA (SF)		AREA PER FLOOR (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF)
EAST BUILDING	B7	-	-	-	-	-
	B1-B6	-	-	-	-	-
	VINE GROUND	17,224	-	6,018.0	-	11,205.6
	ARGYLE GROUND	14,256		8,788.0	-	5,467.6
	MEZZ	19,348			-	19,347.6
	2-8 (7 FLOORS)	175,084	-	-	175,084.0	-
	9 (MECHANICAL)	-	-	-	-	-
	10-11 (2 FLOORS)	50,024	-	-	50,024.0	-
	12-13 (2 FLOORS)	45,814	-	-	45,814.0	-
	14-15 (2 FLOORS)	41,604	-	-	41,604.0	-
	16-17 (2 FLOORS)	37,396	-	-	37,396.0	-
	MECH PH	-	-	-	-	-
	SUB-TOTAL	400,749 *	-	14,806.0	349,922.0	36,020.8
EAST SITE DEVELOPMENT TOTALS		400,749 *	-	14,806.0	349,922.0	36,020.8

* NOTE: NUMBERS ARE ROUNDED UP TO NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN .5

NOTES
1. ALL FIGURES APPROXIMATE
2. GROSS TO ZONING FACTOR ASSUMPTIONS: 4% RETAIL, 8% RESIDENTIAL, 8% HOTEL, 8% HOTEL COMMON, 8% SPORTS CLUB
3. ASSUMES HEIGHT AND NUMBER OF STORIES FOR EACH TOWER CALCULATED INDEPENDENTLY, AND THAT MECHANICAL FLOORS DO NOT COUNT AS STORIES

4. PARKING ASSUMPTIONS: BELOW GRADE VALET DOUBLE STACKERS @ 225SF/SPACE.
5. DUPLEXES ASSUME MEZZANINE 25% FACTOR OF NET FLOOR AREA INCREASE.

CAR PARKING EAST SITE

EAST BUILDING	UNIT TYPE	spaces	ZFA (SF)	Code Required	Provided
OFFICE (COMMERCIAL)	Per 1000sf	2	385,943	772.0	876
COMMERCIAL	Per 1000sf	2	14,806	29.6	30
CAPITOL RECORDS REPLACEMENT (PER C of O)				197.0	197.0
TOTAL PARKING SPACES				999	* 1,103
NUMBER OF EV SPACES (INCLUSIVE)					331

* NOTE: PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

BIKE PARKING

	LONG TERM	Req/Prd	SHORT TERM	Req/Prd
OFFICE (COMMERCIAL)	1 per 5000 sf, min 2	69.0	1 per 10,000 sf, min 2	37.0
COMMERCIAL	1 per 2000, min 2	6.0	1 per 2000, min 2	6.0
CAPITOL RECORDS	No new spaces req'd	0.0	No new spaces req'd	0.0
TOTAL BIKE SPACES REQUIRED & PROVIDED		75		43

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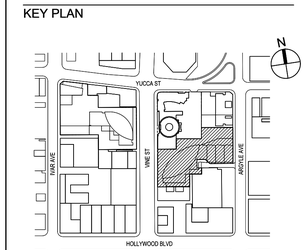
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
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DRAWING TITLE:
EAST SITE - DATA

DRAWING NO:
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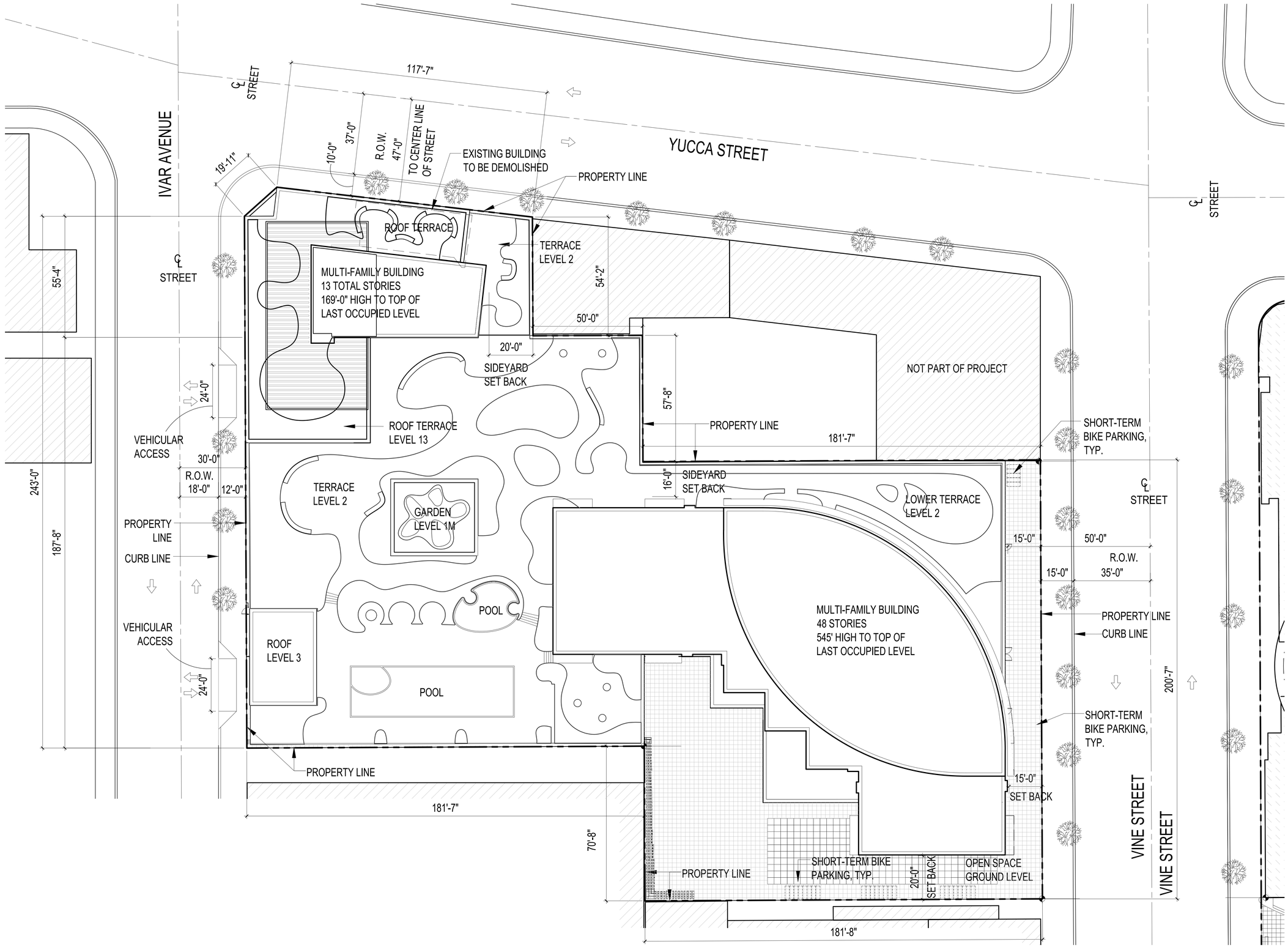

WEST SITE - PLOT PLAN

SCALE: 1"= 20'

1

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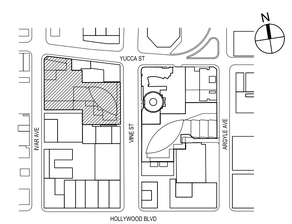

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PROJECT NO: 1350

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DRAWING TITLE:

WEST SITE - PLOT PLAN

DRAWING NO:

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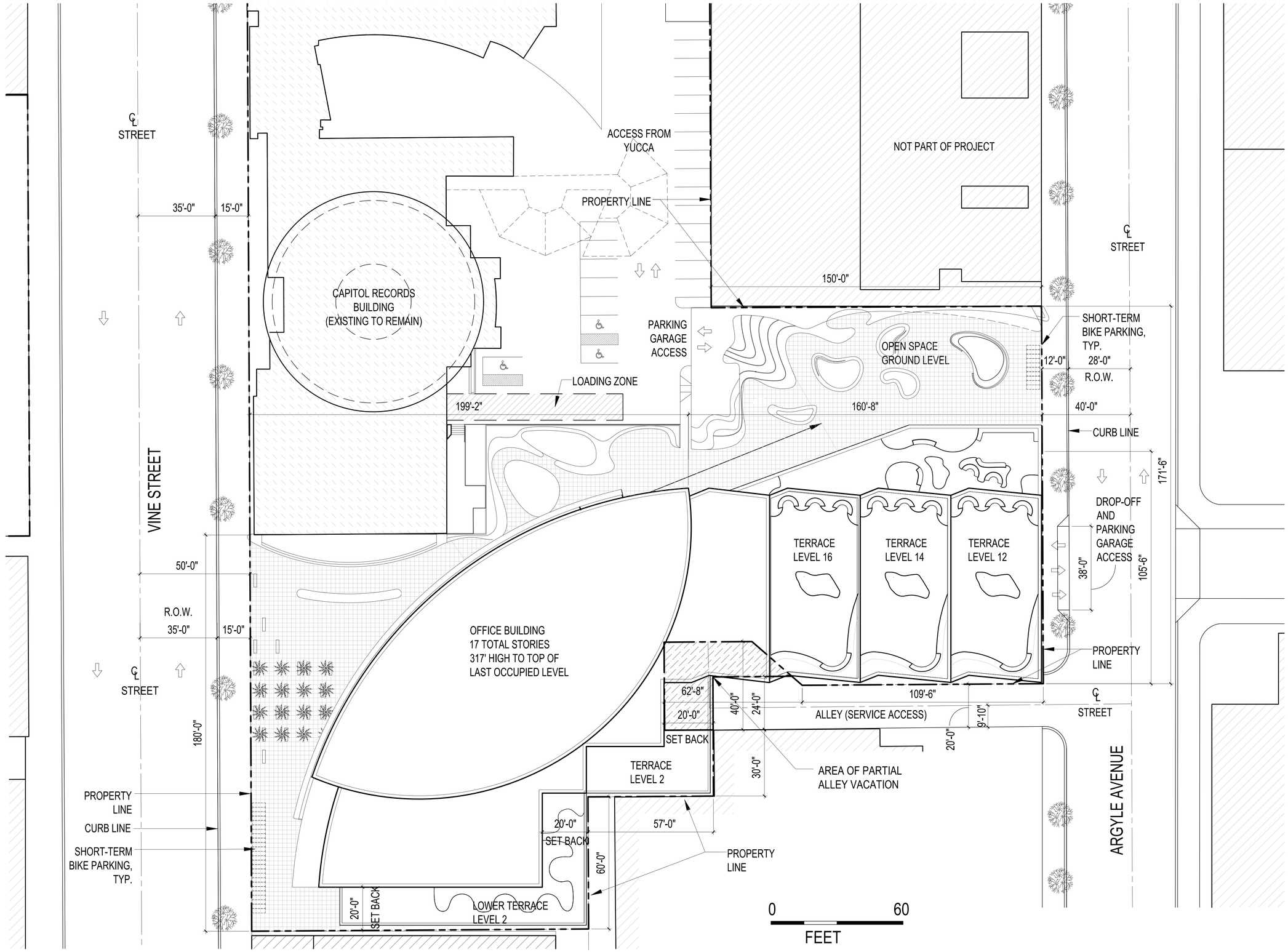

N 0' 10' 20' 40' 60'
SCALE: 1" = 20'

EAST SITE - PLOT PLAN
SCALE: 1"=20'

1

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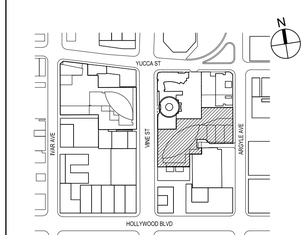
KEY PLAN



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EAST SITE - PLOT PLAN

DRAWING NO:

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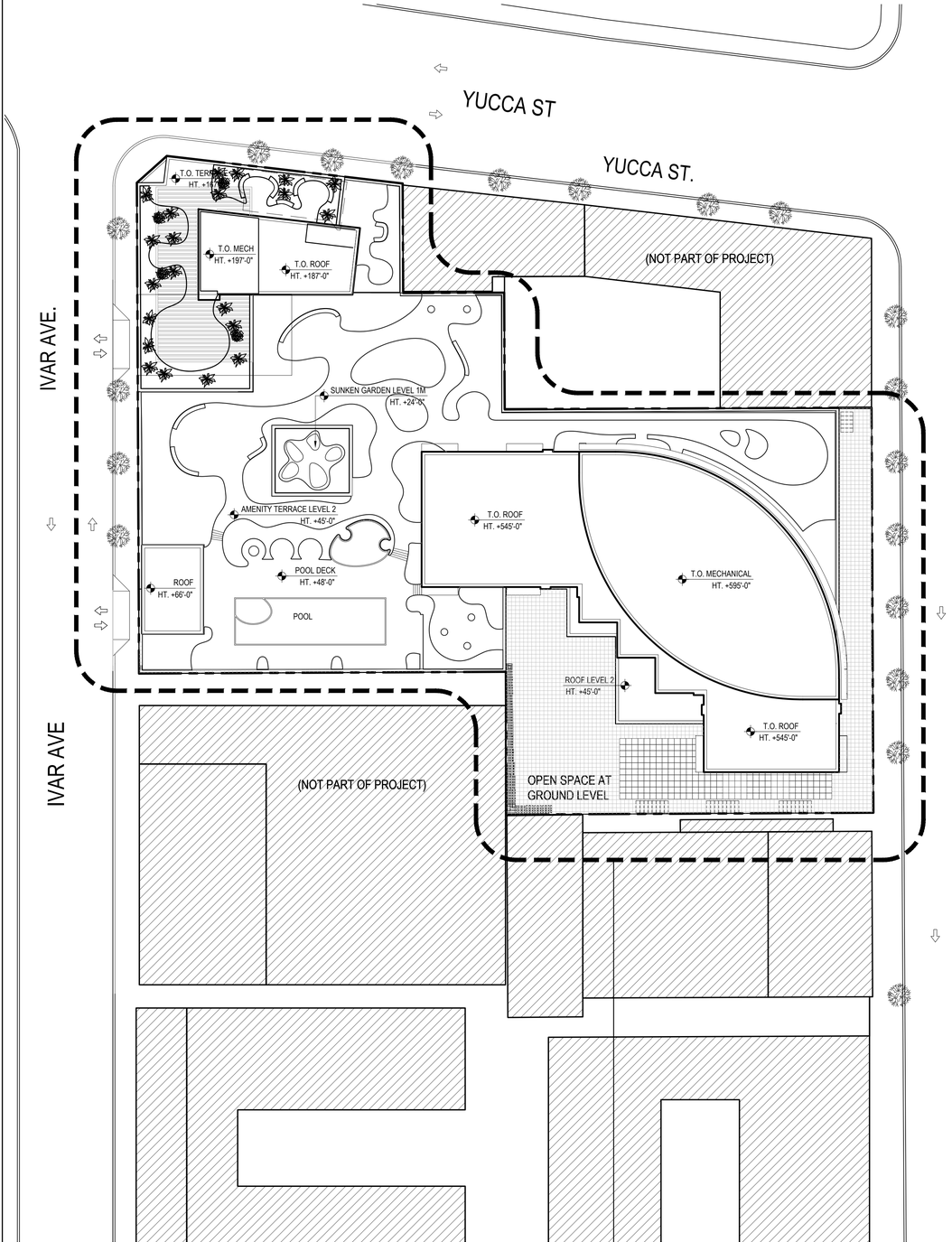
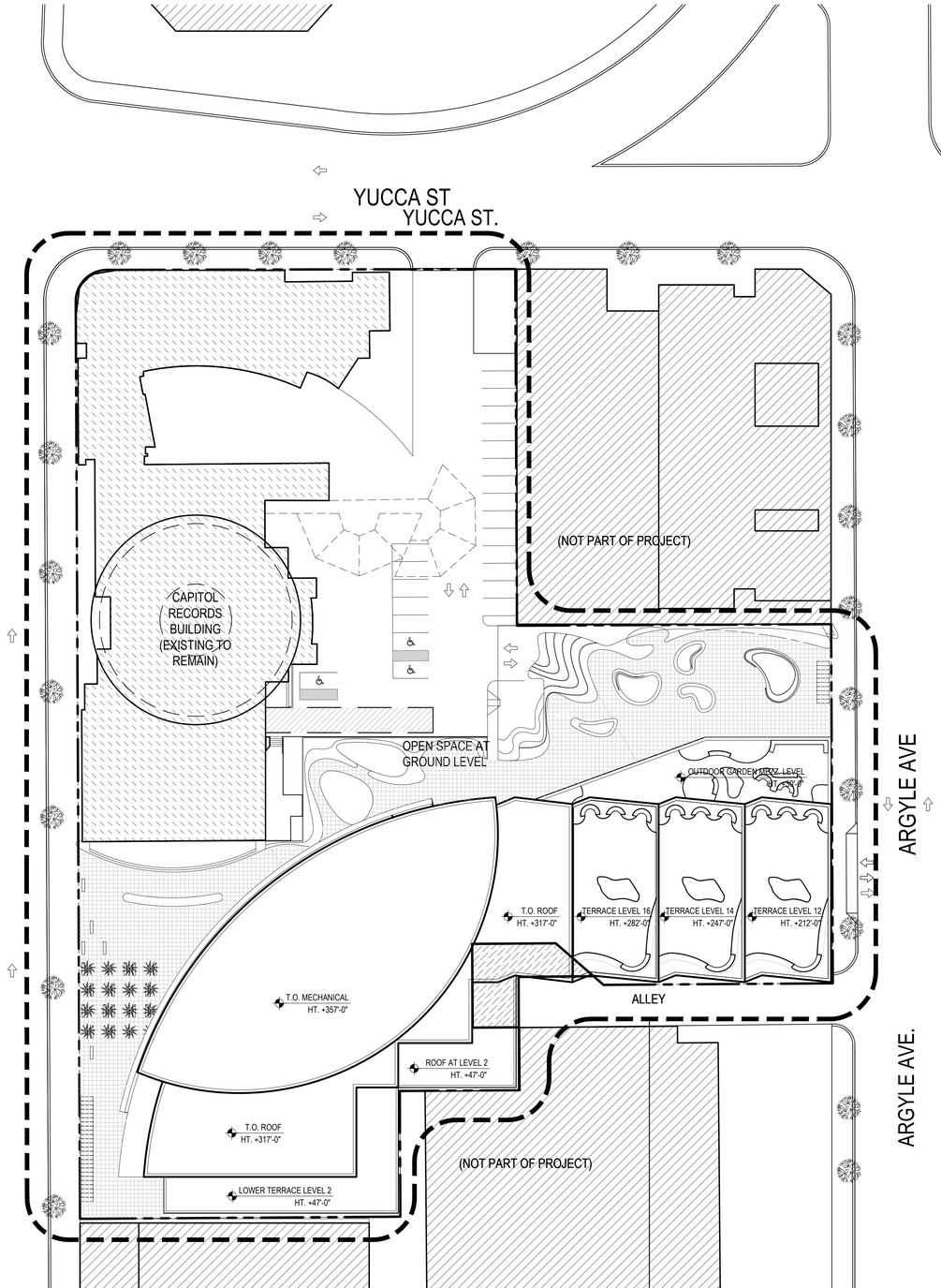


WEST SITE



EAST SITE

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

OVERALL SITE PLAN

SCALE: 1/32"= 1'-0"

1

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	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

FULL SITE PLAN

DRAWING NO:

A-100

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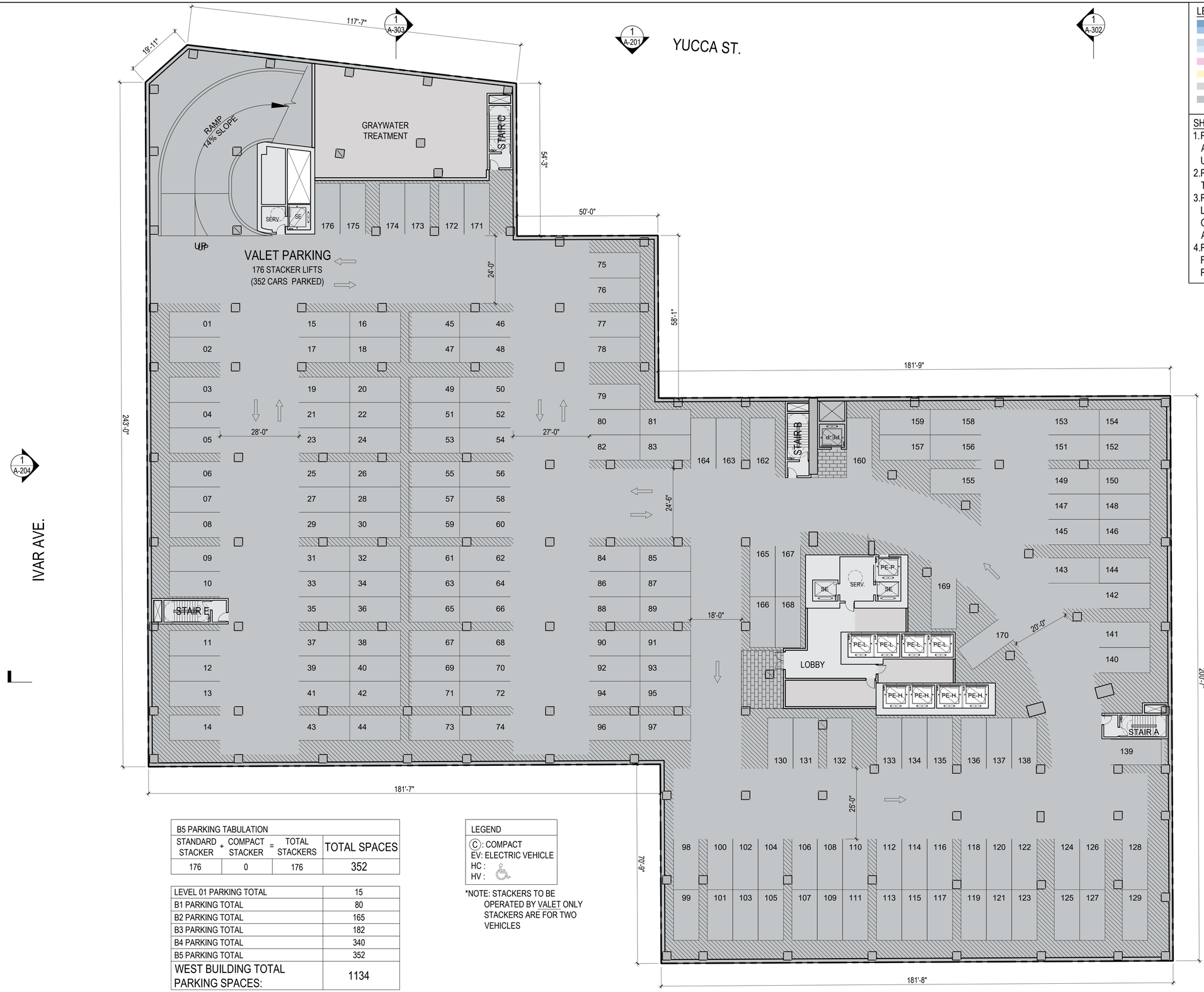

B5 PARKING TABULATION			
STANDARD STACKER +	COMPACT STACKER =	TOTAL STACKERS	TOTAL SPACES
176	0	176	352

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND

Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B5

SCALE: 1/16"= 1'-0"

1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

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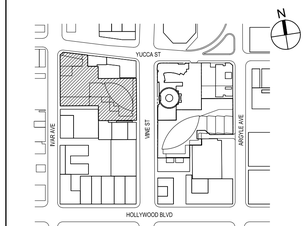

SCALE: AS INDICATED
PROJECT NO: 1350
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DRAWING TITLE:
WEST SITE - LEVEL B5

DRAWING NO:
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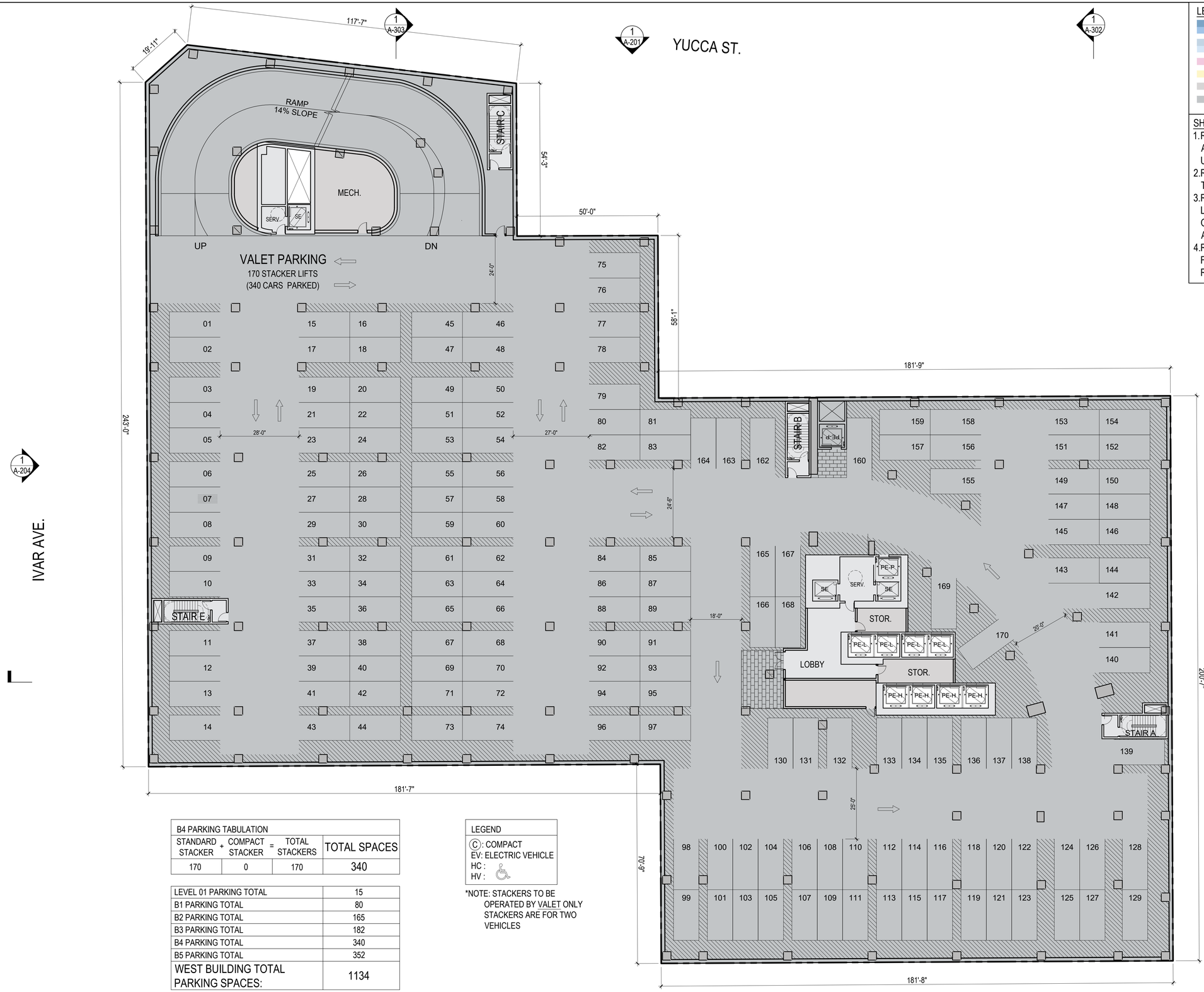

B4 PARKING TABULATION			
STANDARD STACKER +	COMPACT STACKER =	TOTAL STACKERS	TOTAL SPACES
170	0	170	340

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND

Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B4

SCALE: 1/16"= 1'-0"

1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
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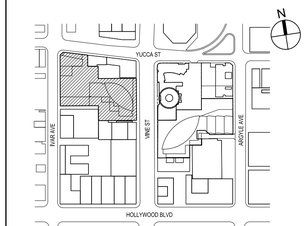

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PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B4

DRAWING NO:
A-102

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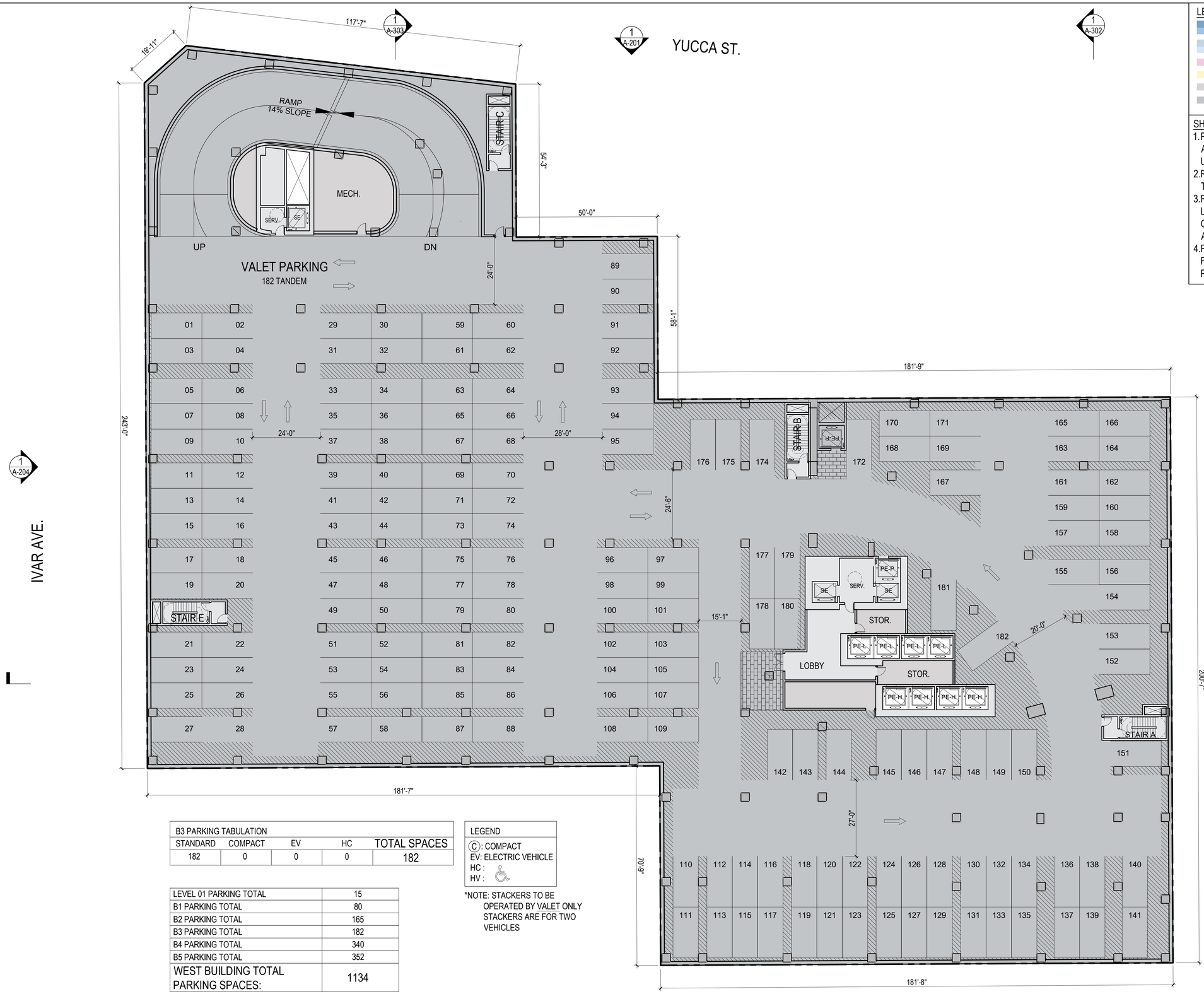

B3 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
182	0	0	0	182

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B3

SCALE: 1/16"= 1'-0"

1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

HOLLYWOOD CENTER

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ARCHITECT
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LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
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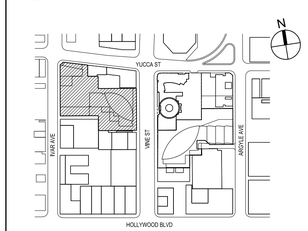
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B3

DRAWING NO:
A-103

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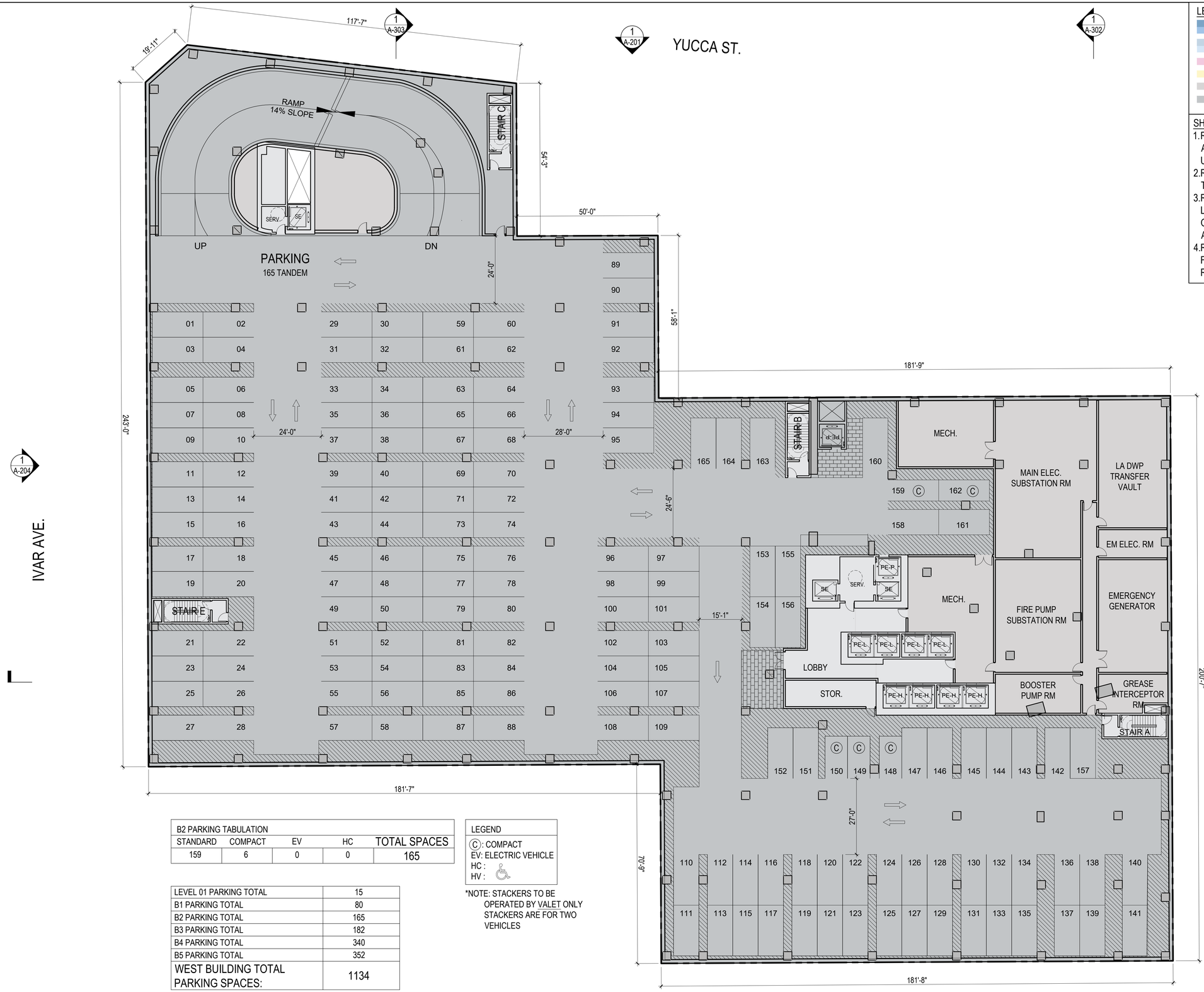

B2 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
159	6	0	0	165

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B2

SCALE: 1/16"= 1'-0"

1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

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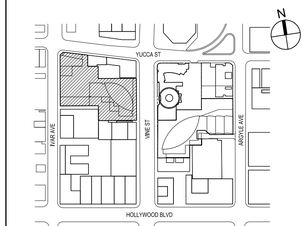
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B2

DRAWING NO:
A-104

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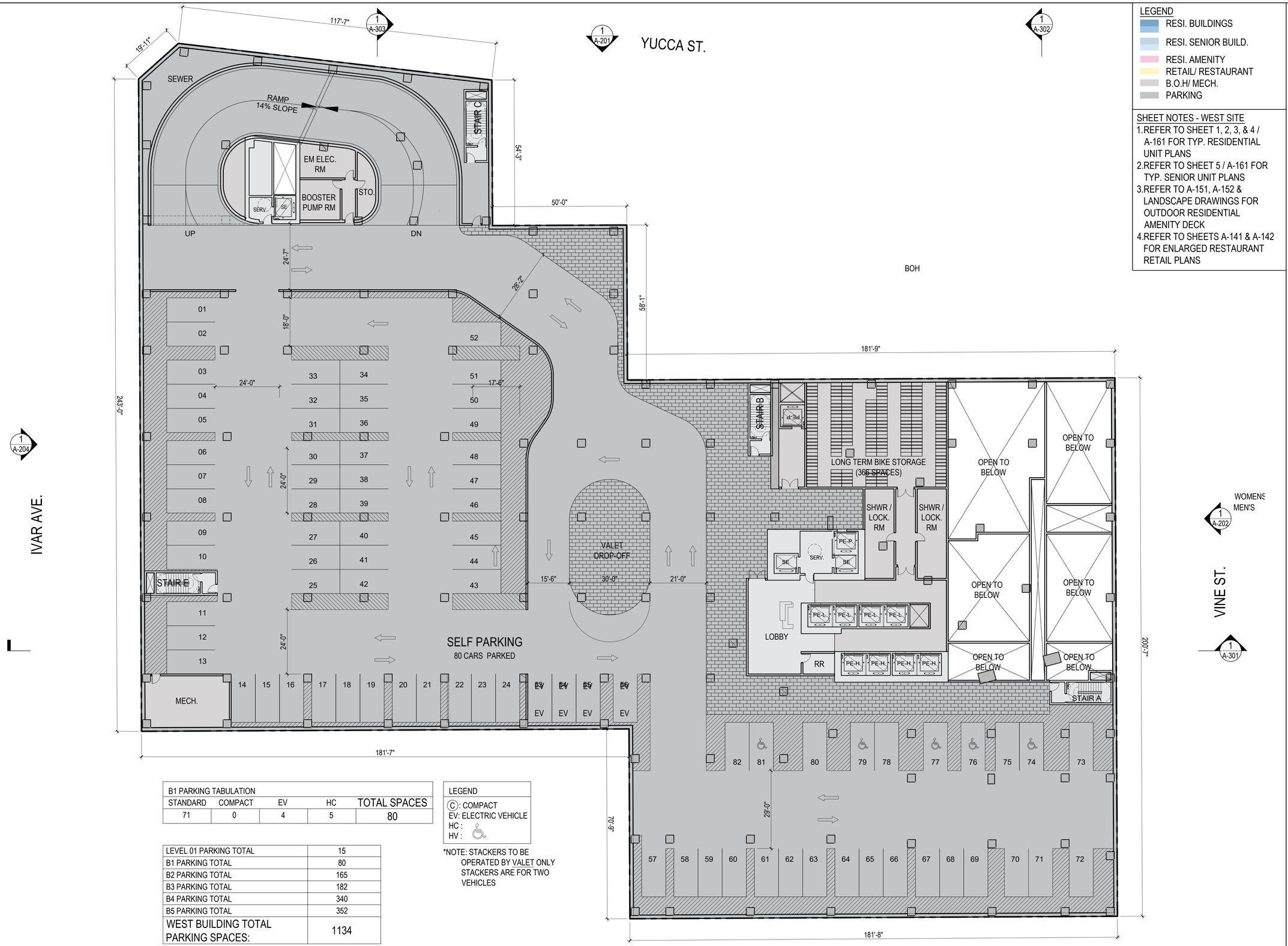

B1 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
71	0	4	5	80

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B1
SCALE: 1/16"= 1'-0"

1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
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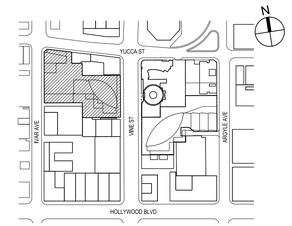
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



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PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B1

DRAWING NO:
A-105

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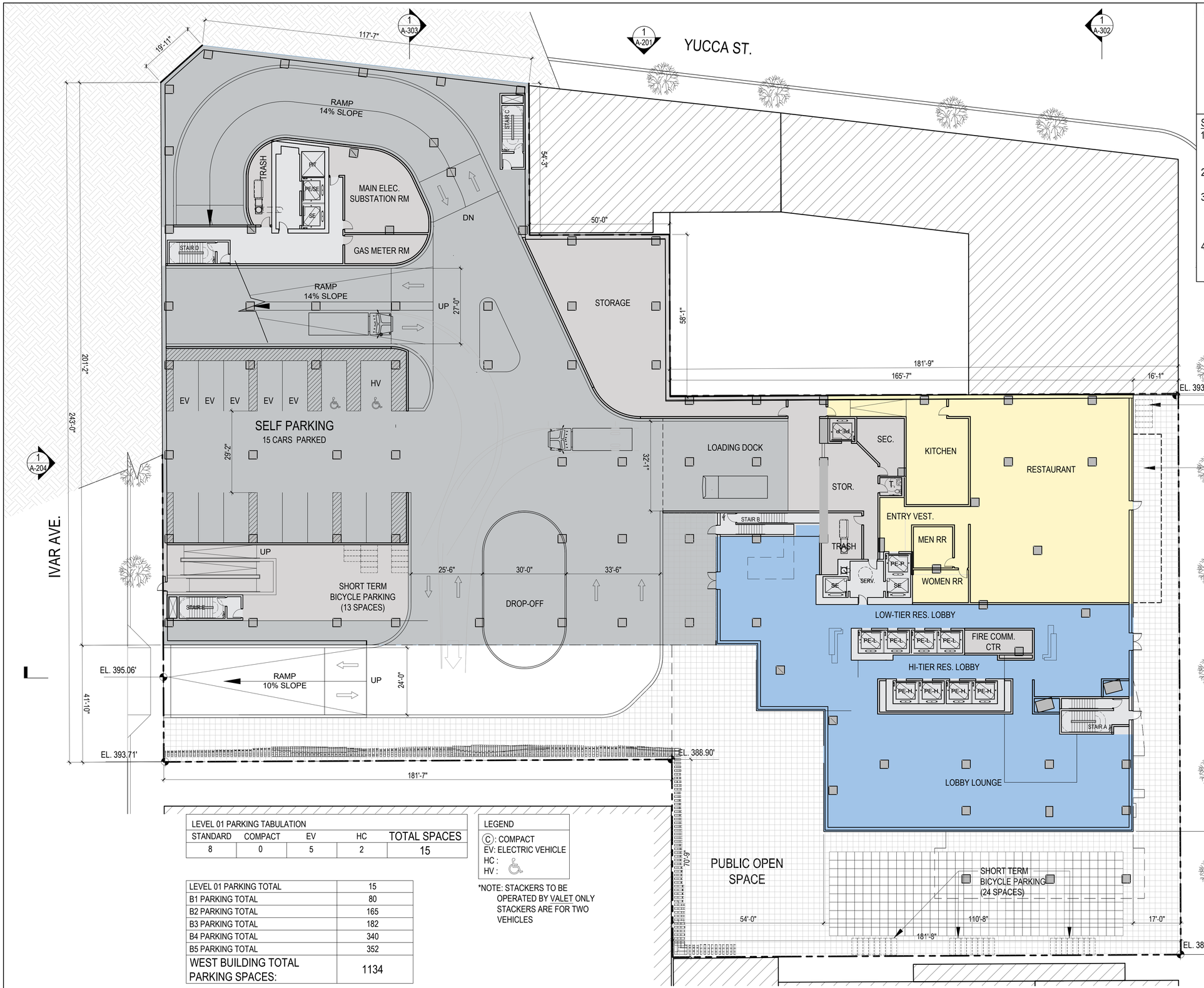

LEVEL 01 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
8	0	5	2	15

LEVEL 01 PARKING TOTAL	15
B1 PARKING TOTAL	80
B2 PARKING TOTAL	165
B3 PARKING TOTAL	182
B4 PARKING TOTAL	340
B5 PARKING TOTAL	352
WEST BUILDING TOTAL PARKING SPACES:	1134

LEGEND
(C): COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY STACKERS ARE FOR TWO VEHICLES

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 01 VINE
SCALE: 1/16"= 1'-0"
1

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE
1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

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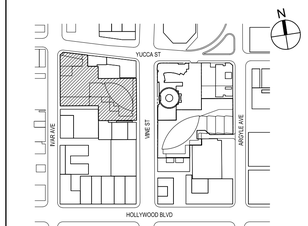
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



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PROJECT NO: 1350
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DRAWING TITLE:
WEST SITE - LEVEL 01 (VINE)

DRAWING NO:
A-106

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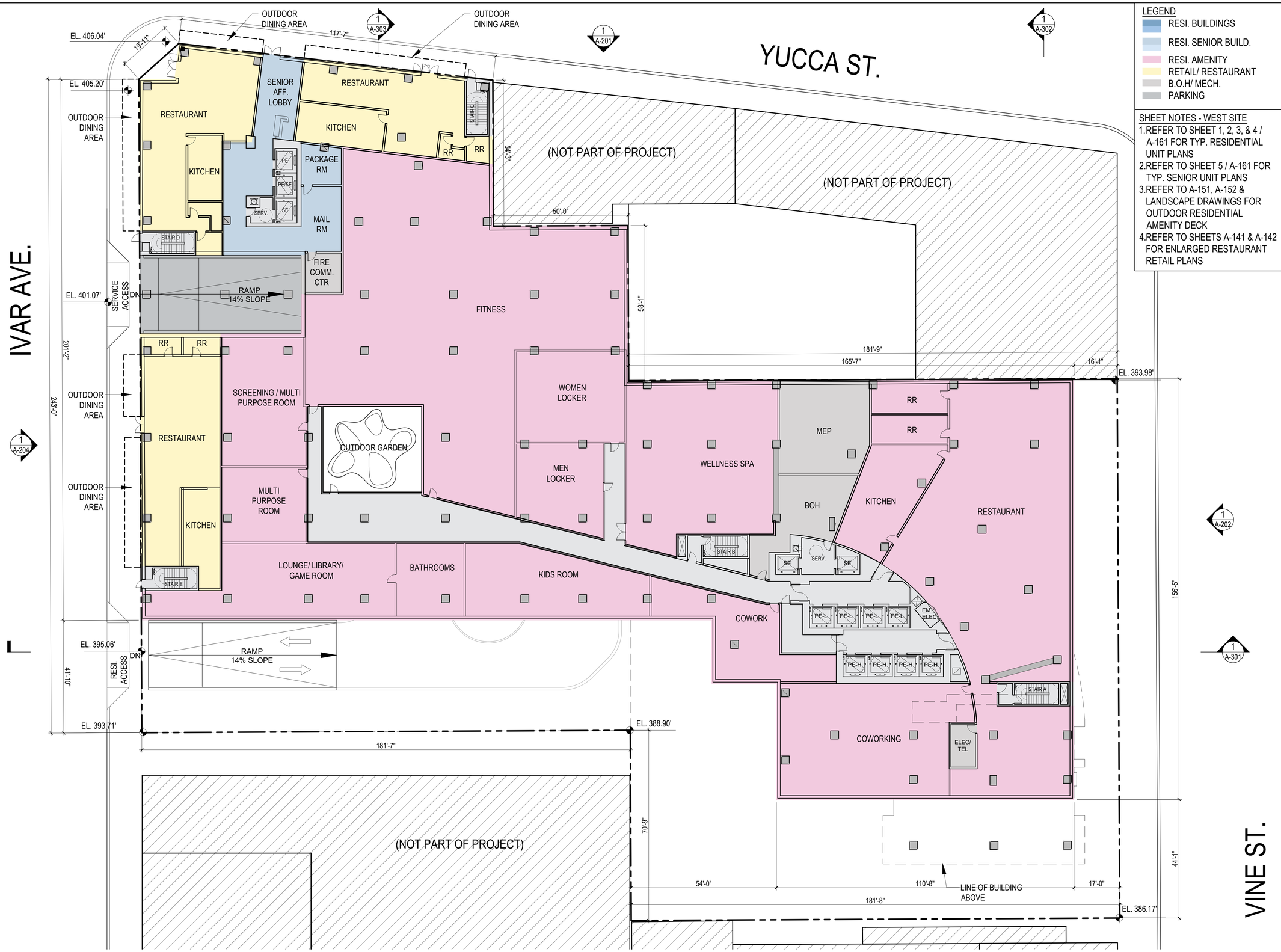

SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 01 MEZZ IVAR

SCALE: 1/16"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
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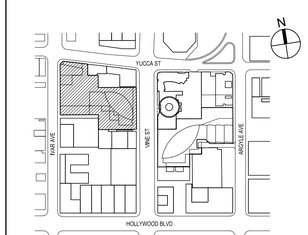
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 01 MEZZ (IVAR)

DRAWING NO:

A-107

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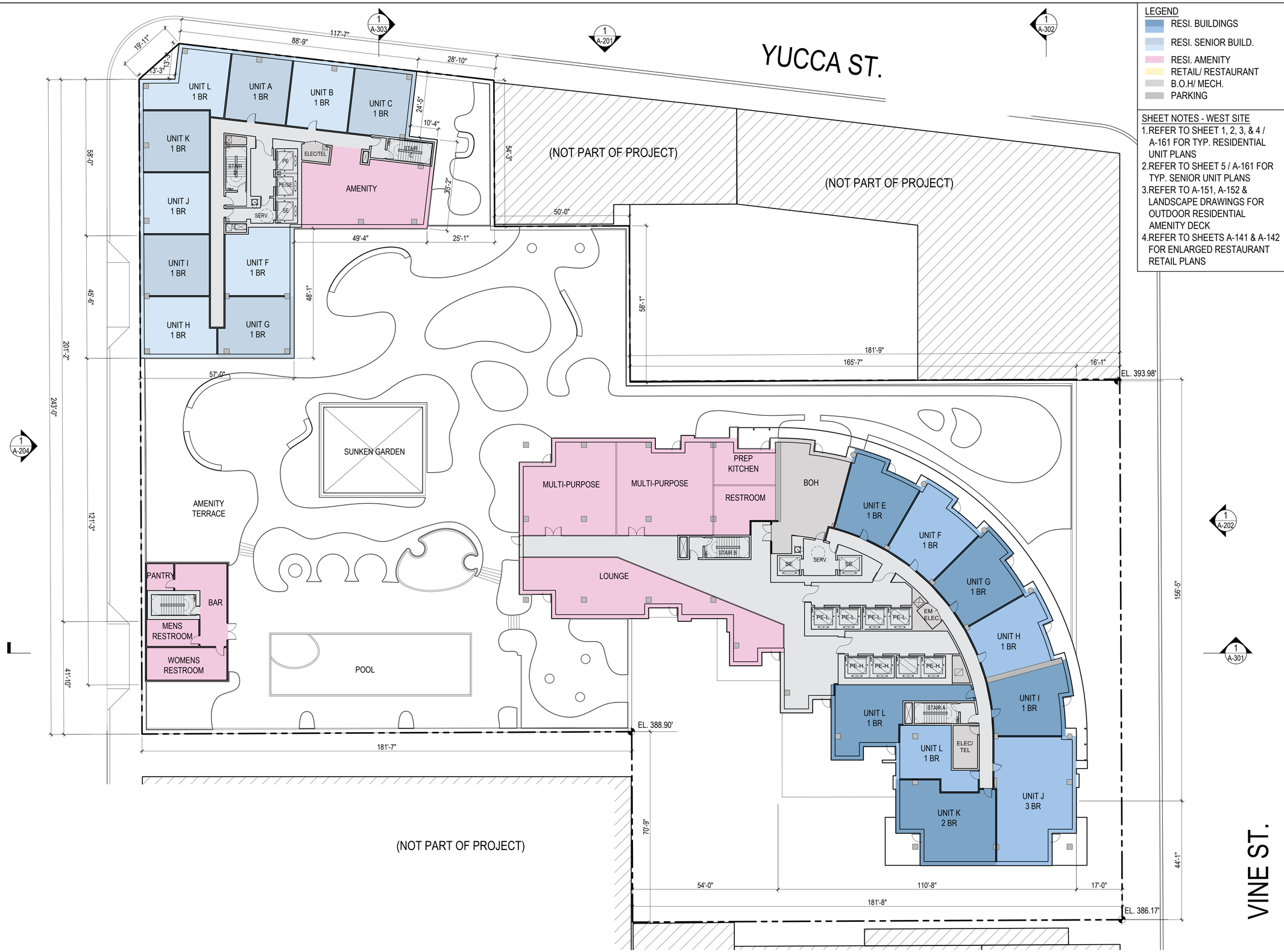

WEST SITE - LEVEL 02

SCALE: 1/16"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
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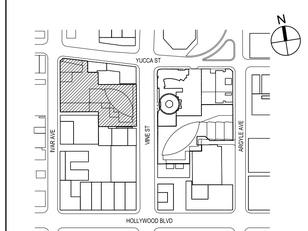
KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 02

DRAWING NO:

A-108

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WEST SITE - TYPICAL TOWER LOWER TIER (1)

SCALE: 1/16"= 1'-0"

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
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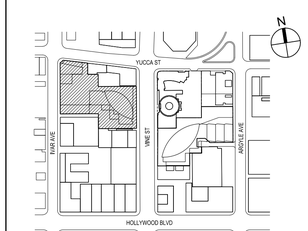

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - TYPICAL TOWER LOWER TIER LEVEL 02-24

DRAWING NO:

A-109

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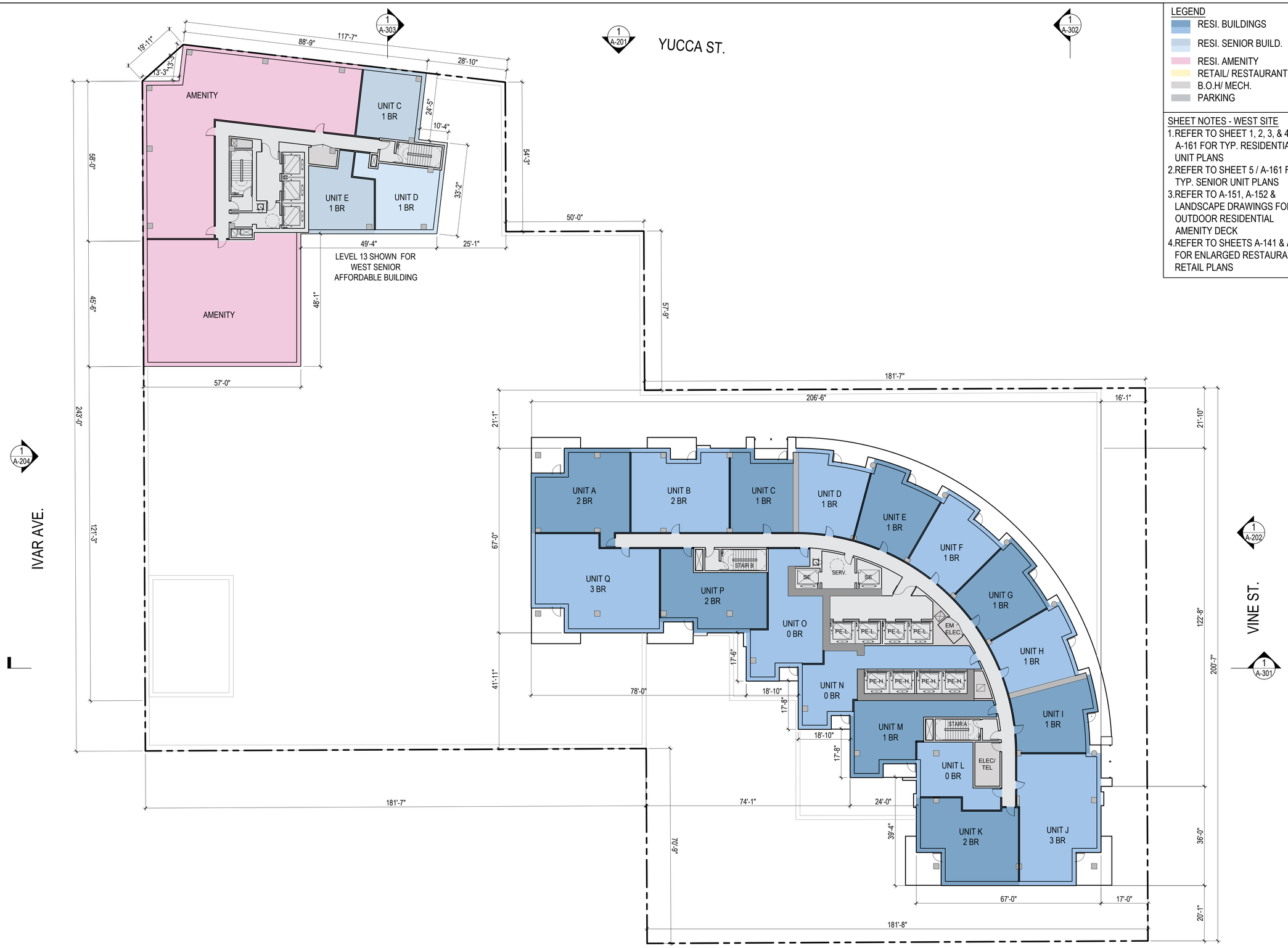

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - AFFORDABLE PH

SCALE: 1/16"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
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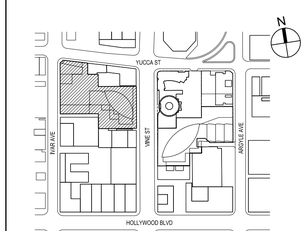

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - AFFORDABLE PH

DRAWING NO:

A-110

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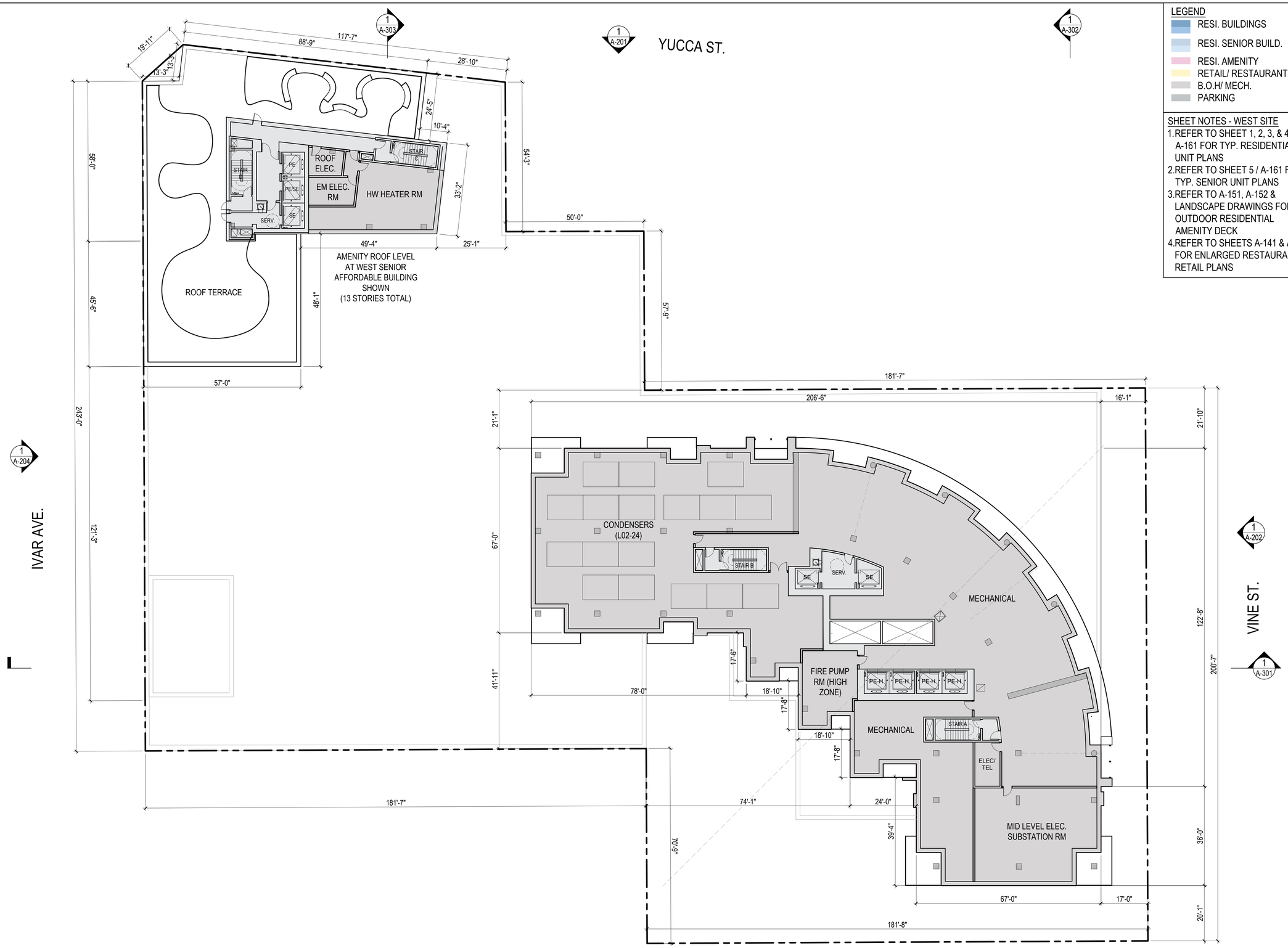

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 25 MECHANICAL

DRAWING NO:

A-111

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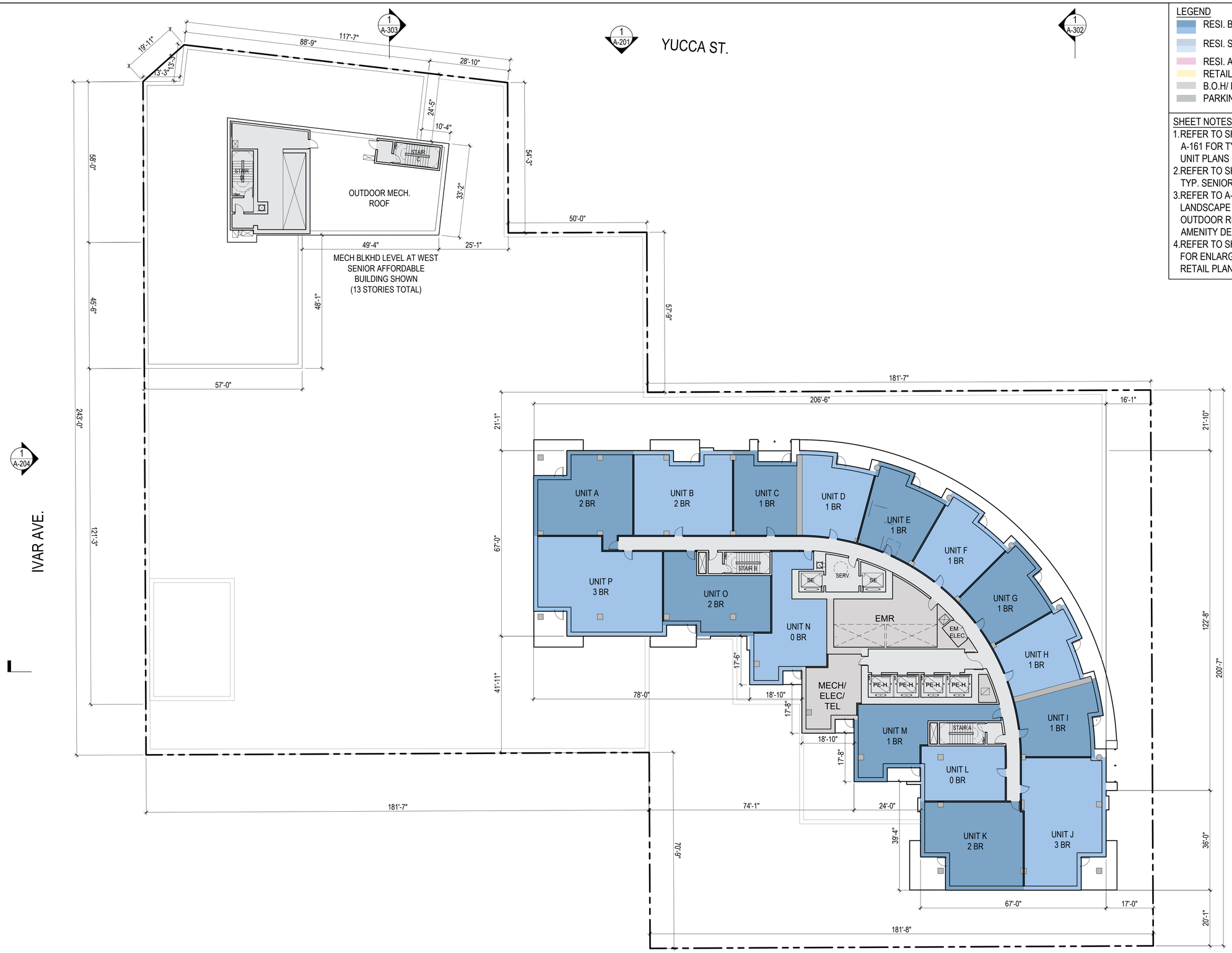
N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 25 MECHANICAL
SCALE: 1/16"= 1'-0"
1



WEST SITE - LEVEL 26 - 27

SCALE: 1/16"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

HOLLYWOOD CENTER

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SURVEY

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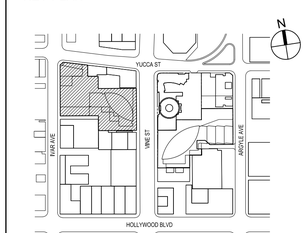
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 26 - 27

DRAWING NO:

A-112

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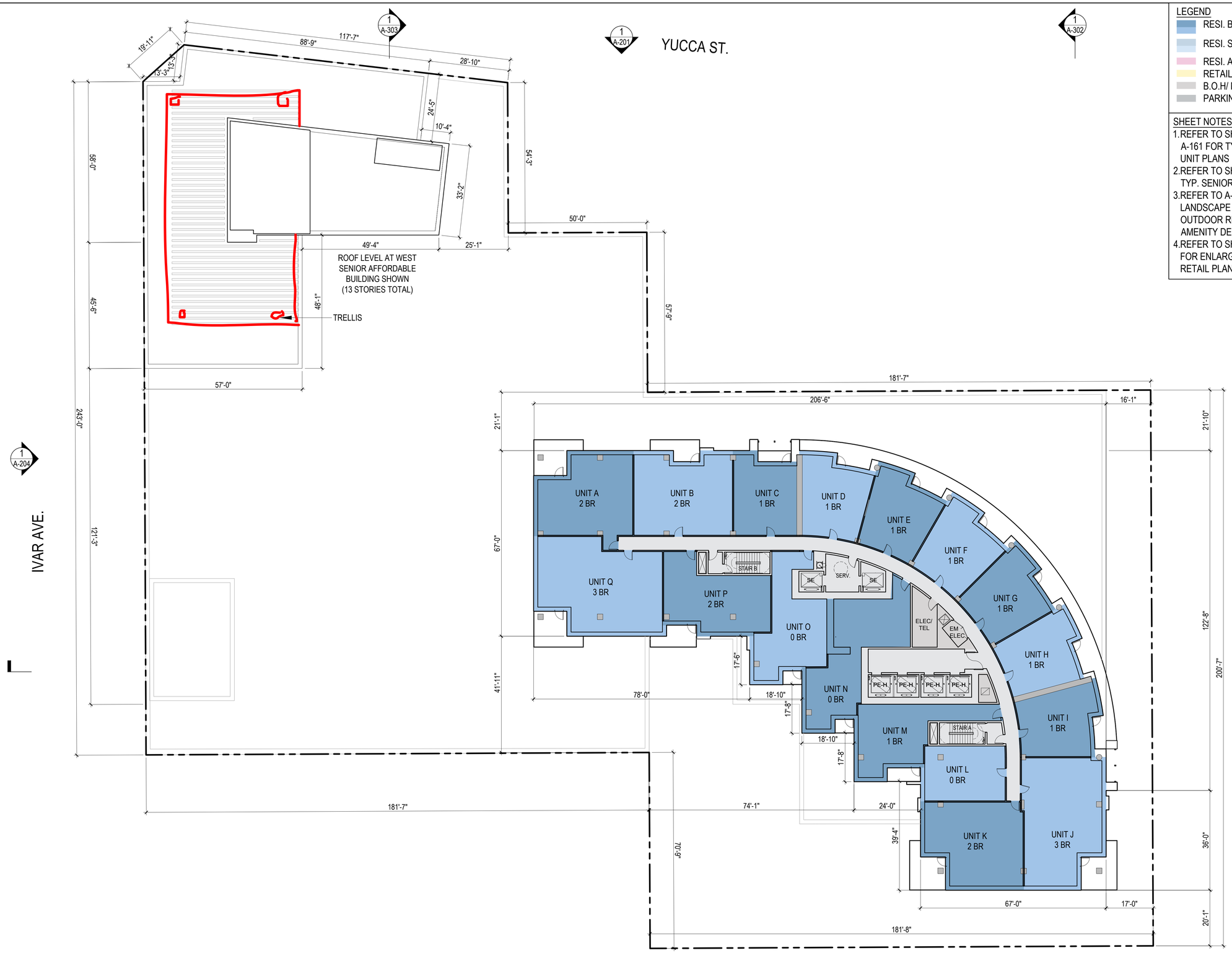

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - TYPICAL TOWER UPPER TIER (1)

SCALE: 1/16"= 1'-0"

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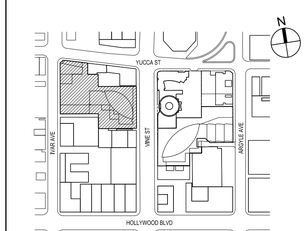
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - TYPICAL TOWER UPPER TIER LEVEL 26-47

DRAWING NO:

A-113

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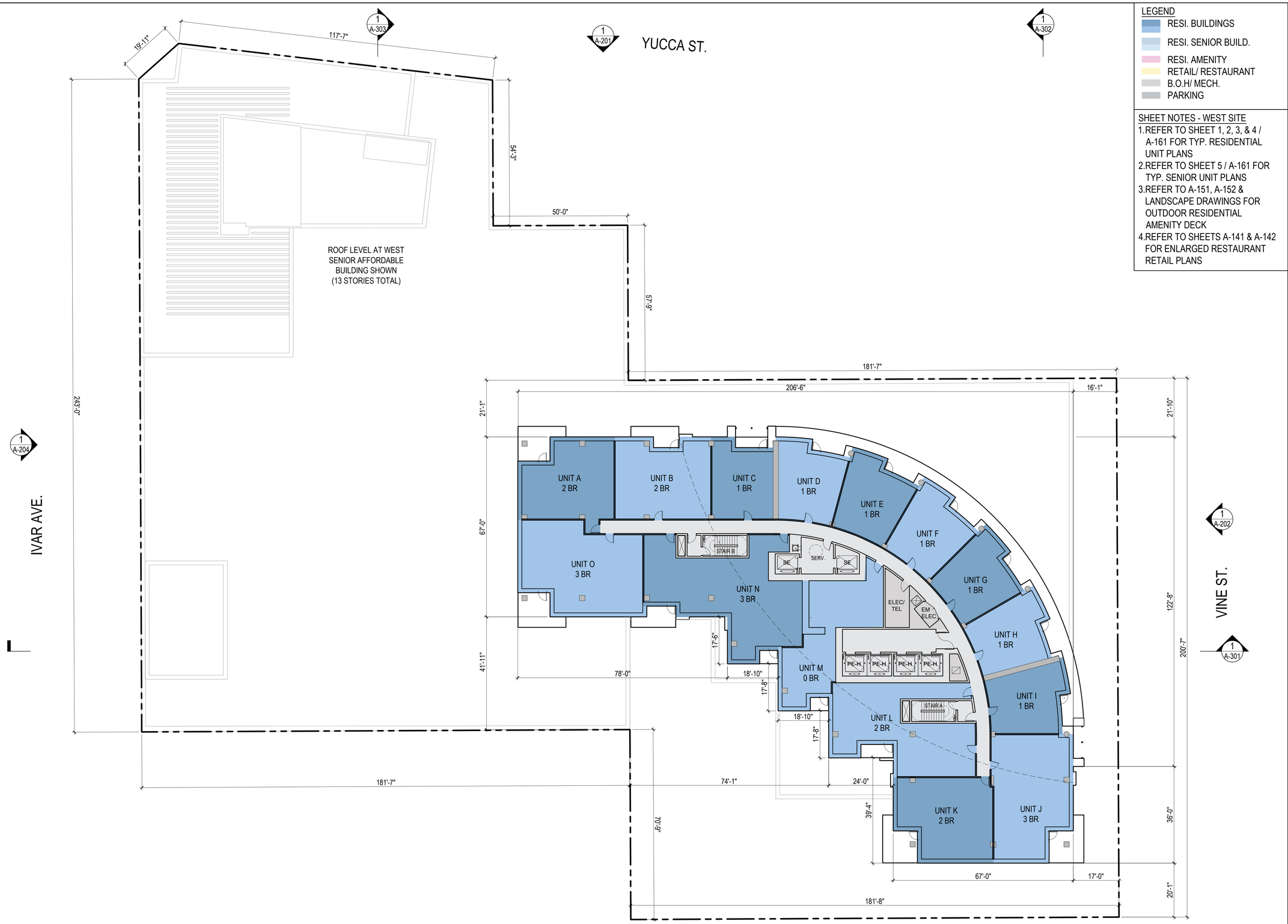

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

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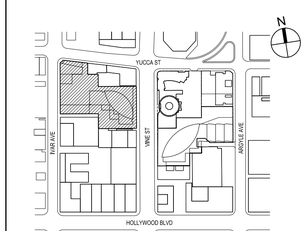
KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 48 PENTHOUSE

DRAWING NO:

A-114

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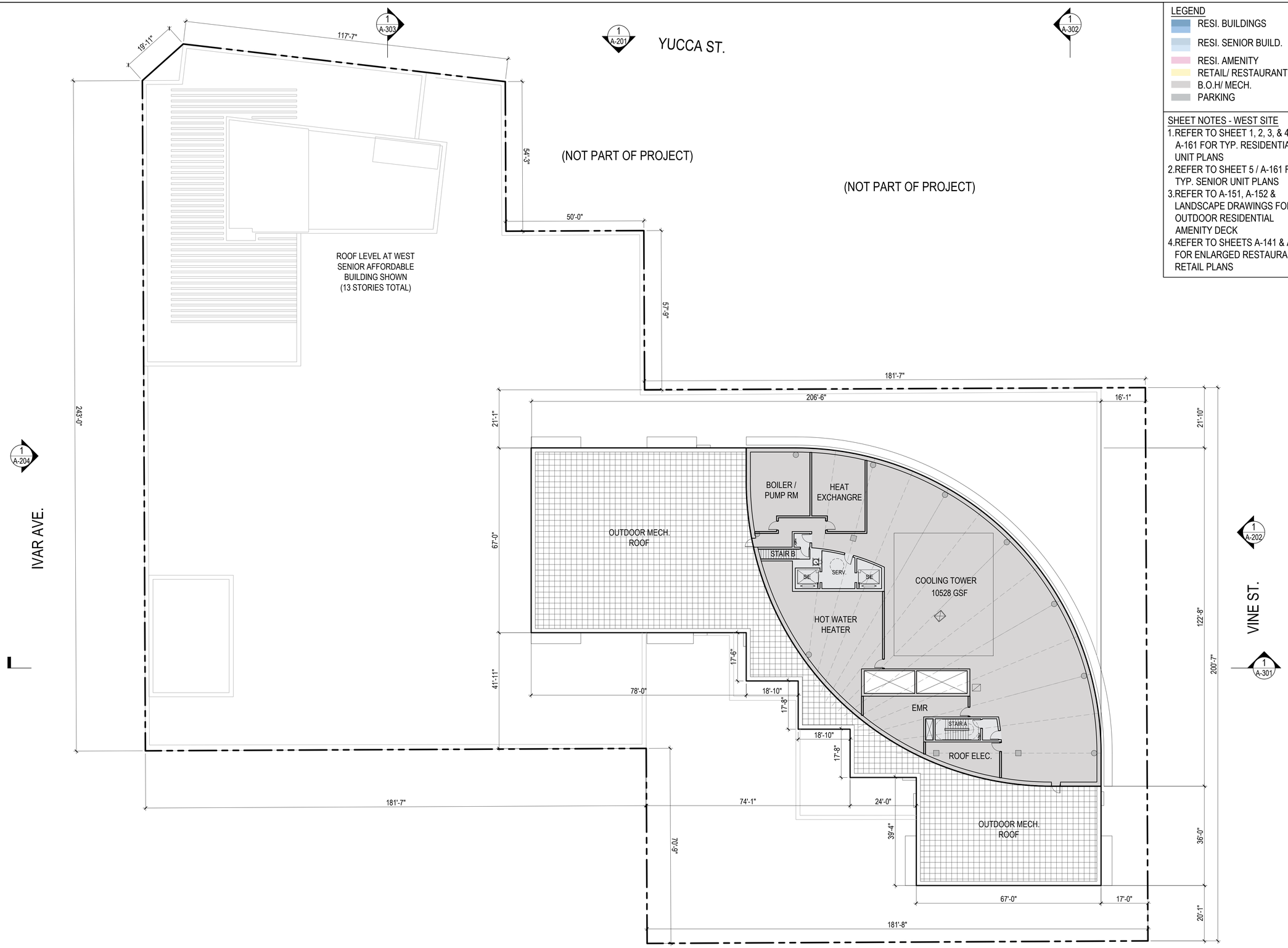
N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 48 PENTHOUSE
SCALE: 1/16"= 1'-0"
1



LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
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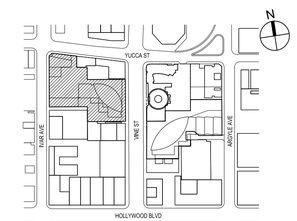
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - MECHANICAL PENTHOUSE

DRAWING NO:

A-115

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - MECHANICAL PENTHOUSE 1

SCALE: 1/16"= 1'-0"

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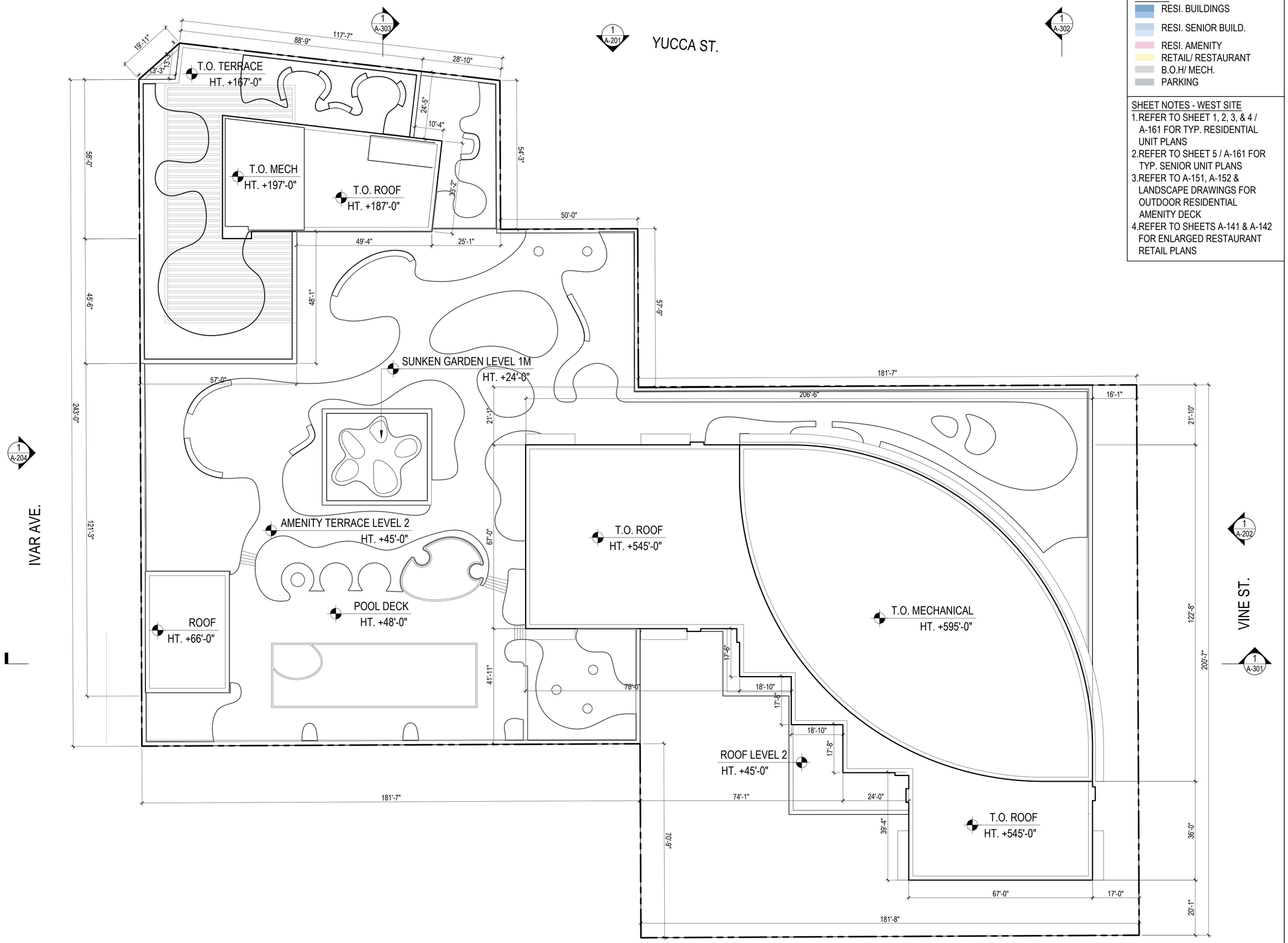

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - TYPICAL LEVELS

SCALE: 1/16"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
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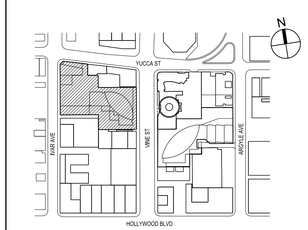
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - ROOF

DRAWING NO:

A-116

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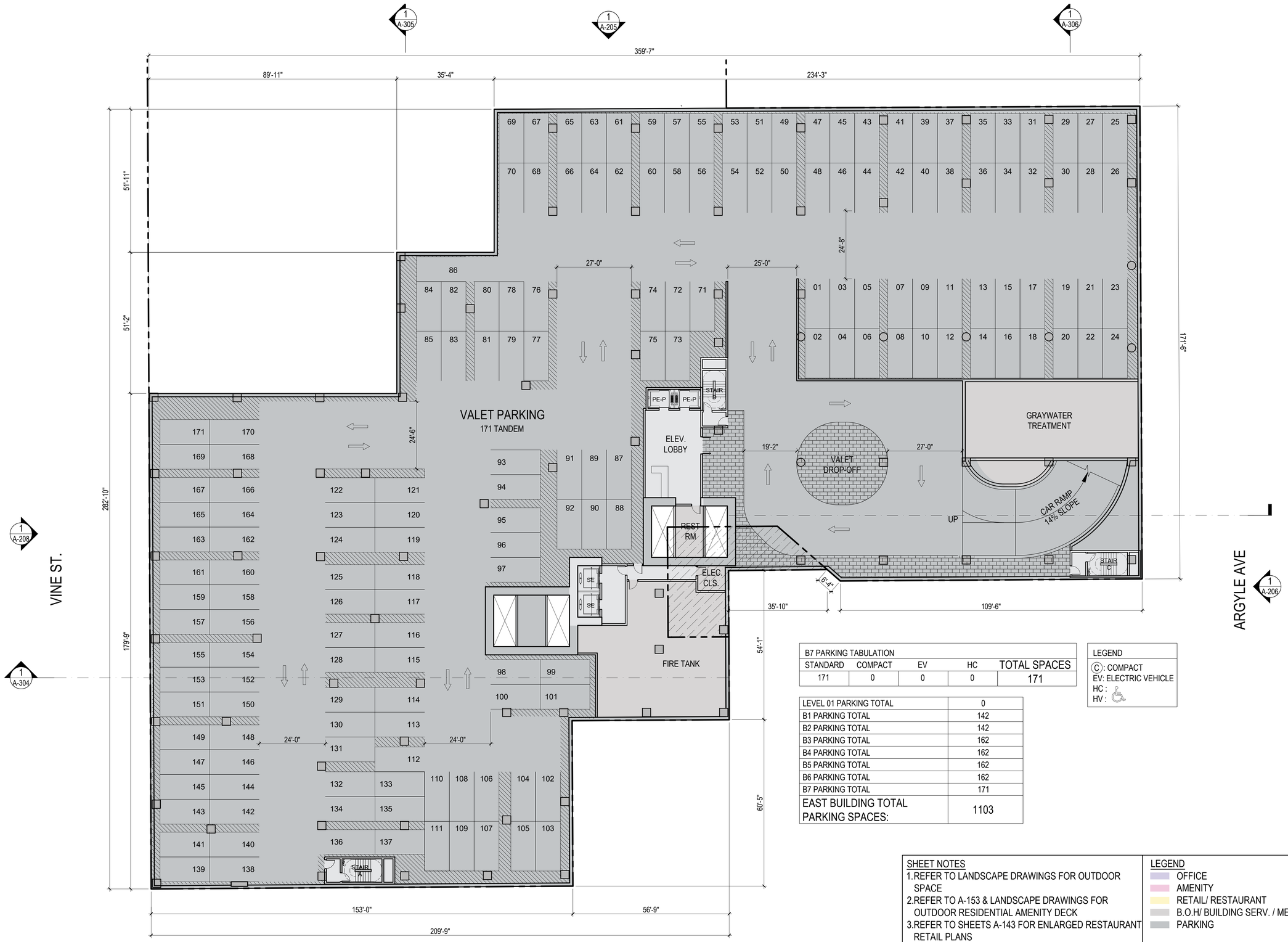

B7 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
171	0	0	0	171

LEVEL 01 PARKING TOTAL	0
B1 PARKING TOTAL	142
B2 PARKING TOTAL	142
B3 PARKING TOTAL	162
B4 PARKING TOTAL	162
B5 PARKING TOTAL	162
B6 PARKING TOTAL	162
B7 PARKING TOTAL	171
EAST BUILDING TOTAL PARKING SPACES:	1103

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B7
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

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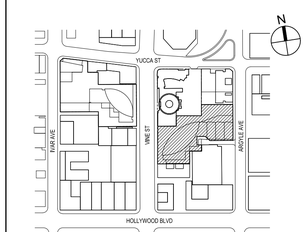
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B7

DRAWING NO:
A-121

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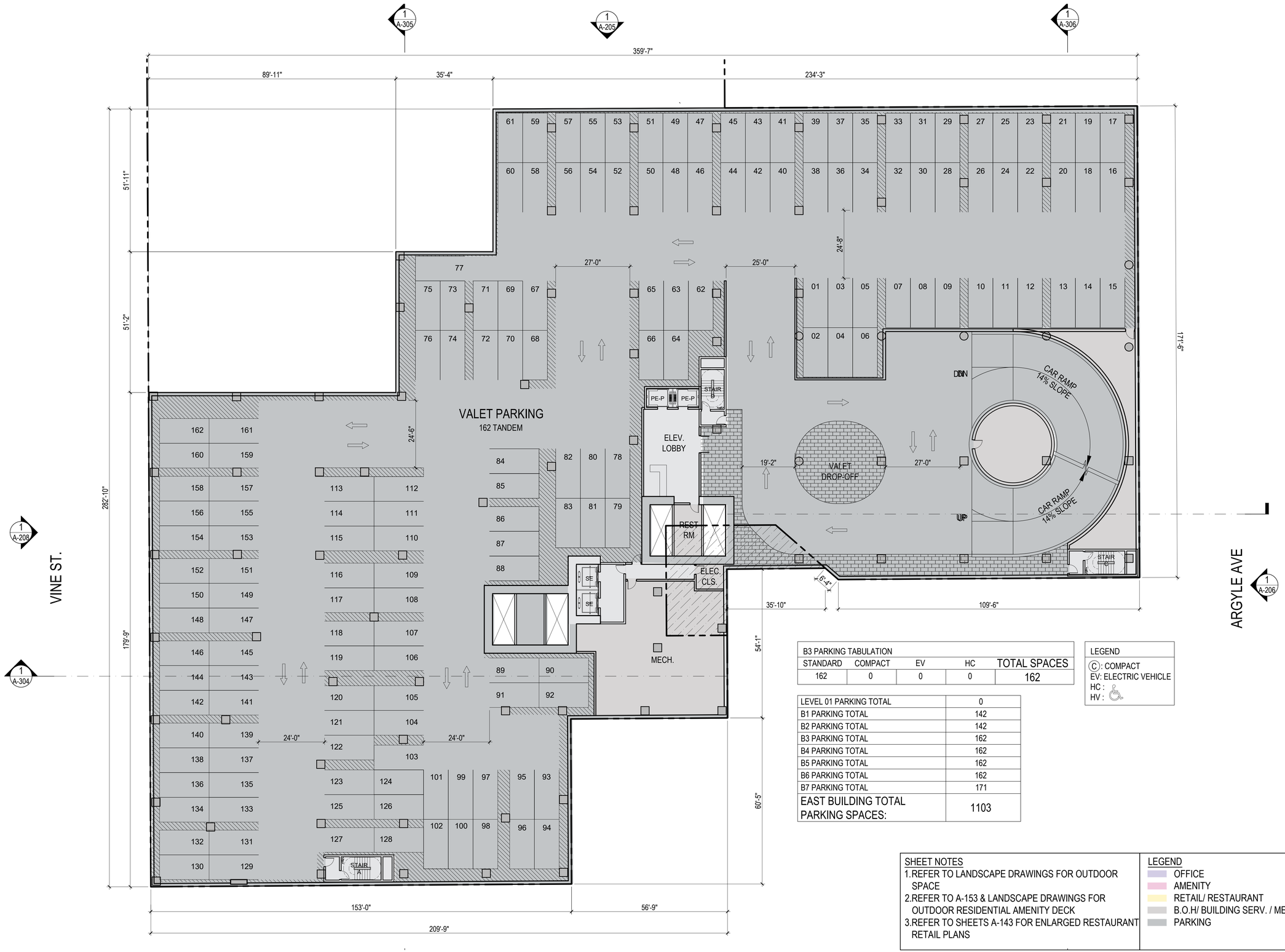

B3 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
162	0	0	0	162

LEVEL 01 PARKING TOTAL	0
B1 PARKING TOTAL	142
B2 PARKING TOTAL	142
B3 PARKING TOTAL	162
B4 PARKING TOTAL	162
B5 PARKING TOTAL	162
B6 PARKING TOTAL	162
B7 PARKING TOTAL	171
EAST BUILDING TOTAL PARKING SPACES:	1103

LEGEND
- Ⓒ: COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B3 - B6
SCALE: 1/16"= 1'-0"
1

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B3 - B6

DRAWING NO:
A-122

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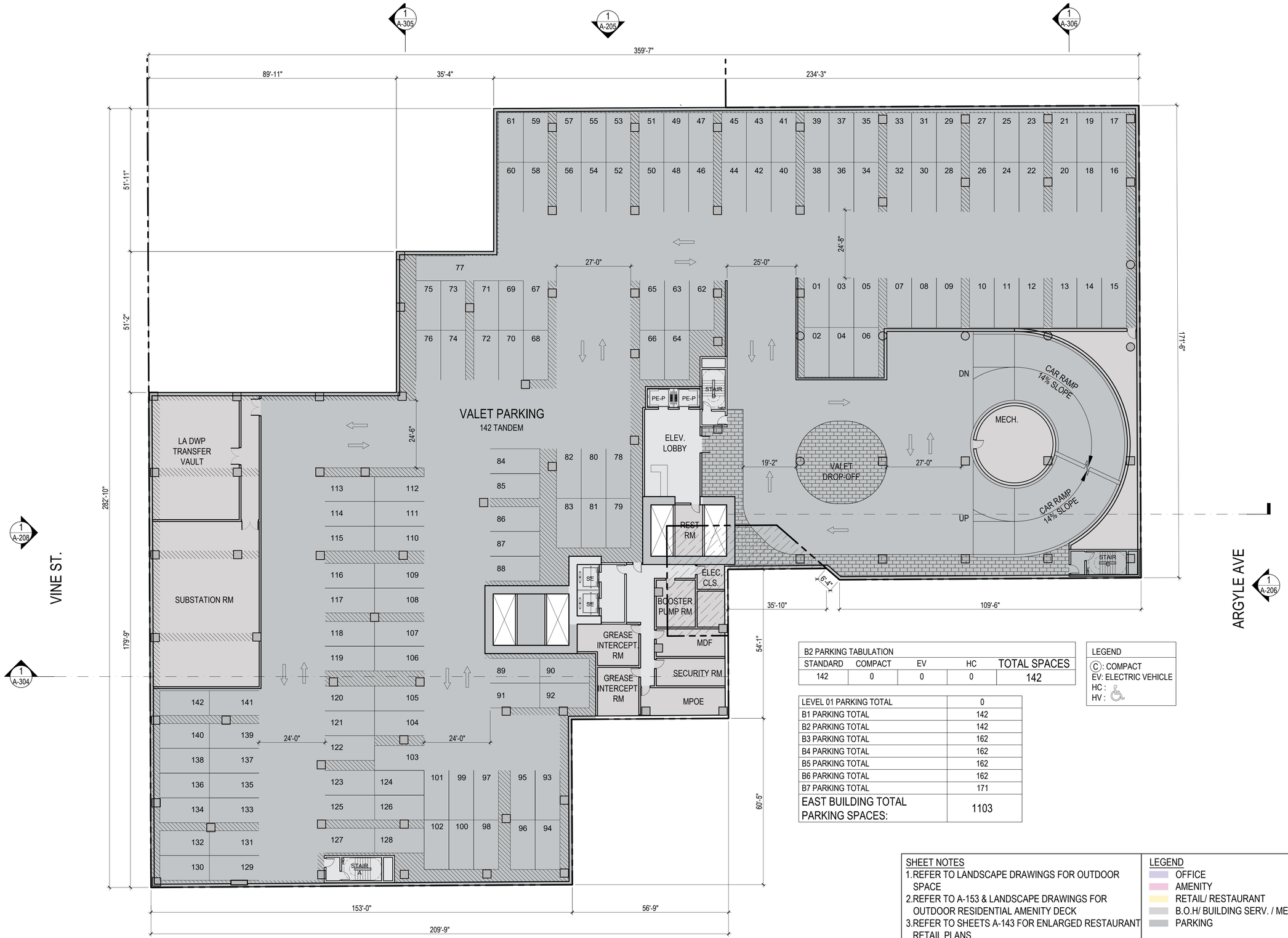

B2 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
142	0	0	0	142

LEVEL 01 PARKING TOTAL	0
B1 PARKING TOTAL	142
B2 PARKING TOTAL	142
B3 PARKING TOTAL	162
B4 PARKING TOTAL	162
B5 PARKING TOTAL	162
B6 PARKING TOTAL	162
B7 PARKING TOTAL	171
EAST BUILDING TOTAL PARKING SPACES:	1103

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B2
SCALE: 1/16"= 1'-0"
1

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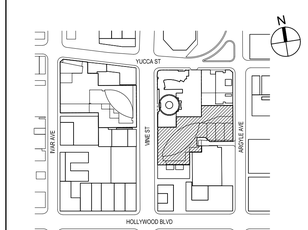
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B2

DRAWING NO:
A-123

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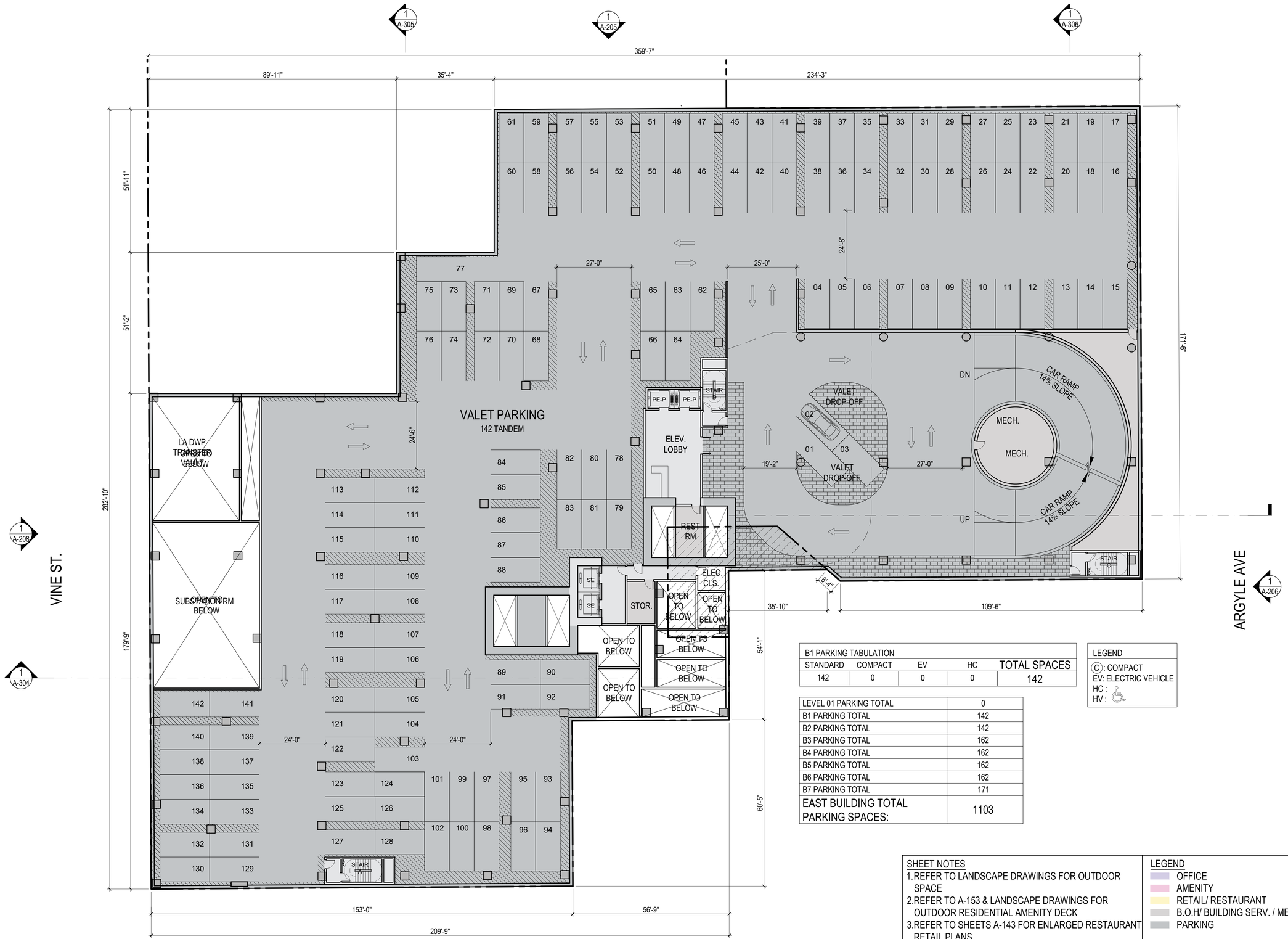

B1 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
142	0	0	0	142

LEVEL 01 PARKING TOTAL	0
B1 PARKING TOTAL	142
B2 PARKING TOTAL	142
B3 PARKING TOTAL	162
B4 PARKING TOTAL	162
B5 PARKING TOTAL	162
B6 PARKING TOTAL	162
B7 PARKING TOTAL	171
EAST BUILDING TOTAL PARKING SPACES:	1103

LEGEND
Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B1
SCALE: 1/16"= 1'-0"
1

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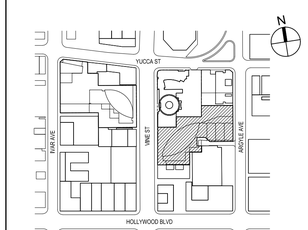
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B1

DRAWING NO:
A-124

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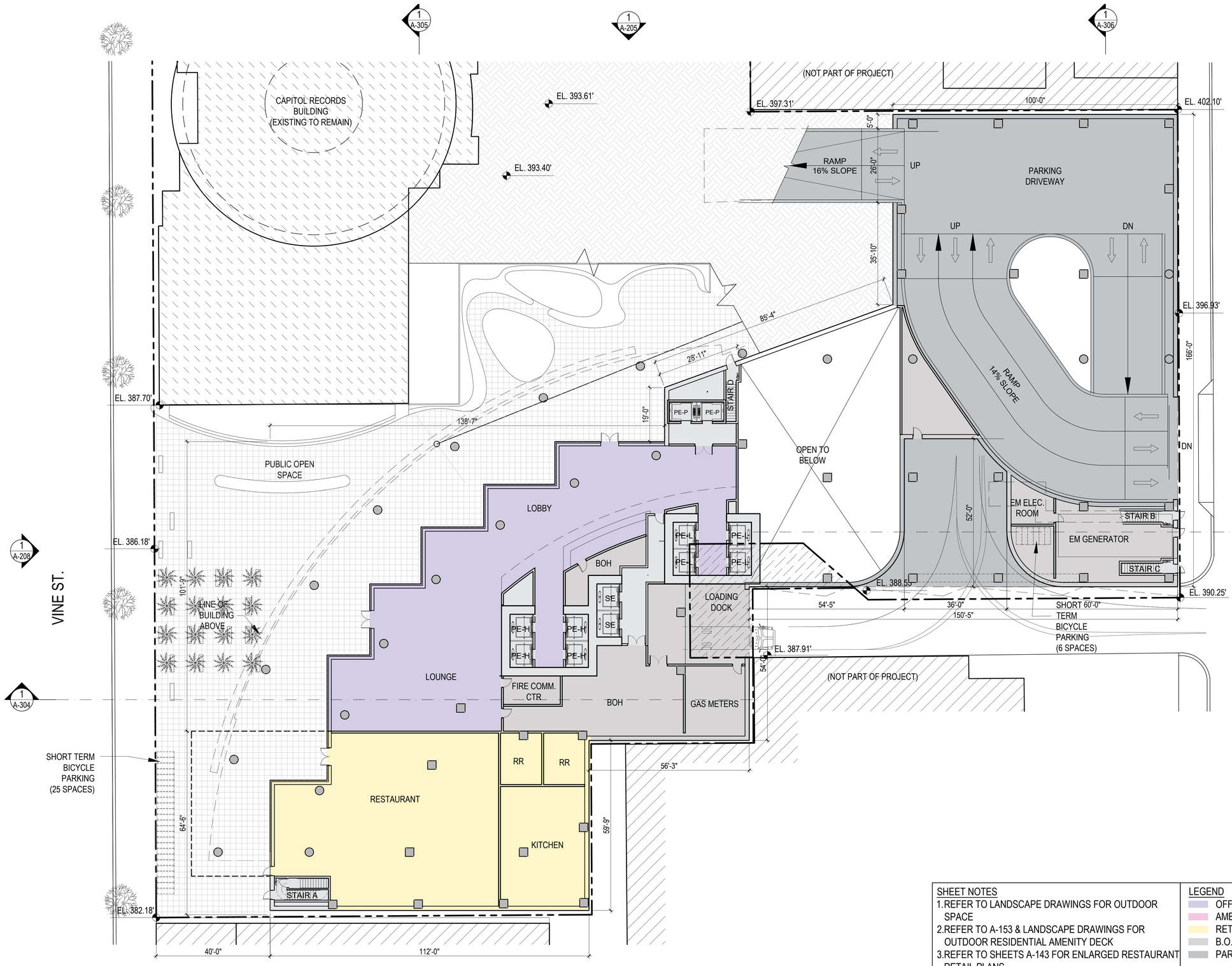

SHEET NOTES	LEGEND
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EAST SITE - LEVEL 01 VINE

SCALE: 1/16"= 1'-0"

1

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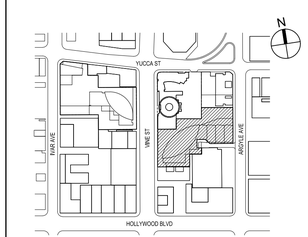
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 01 (VINE)

DRAWING NO:

A-125

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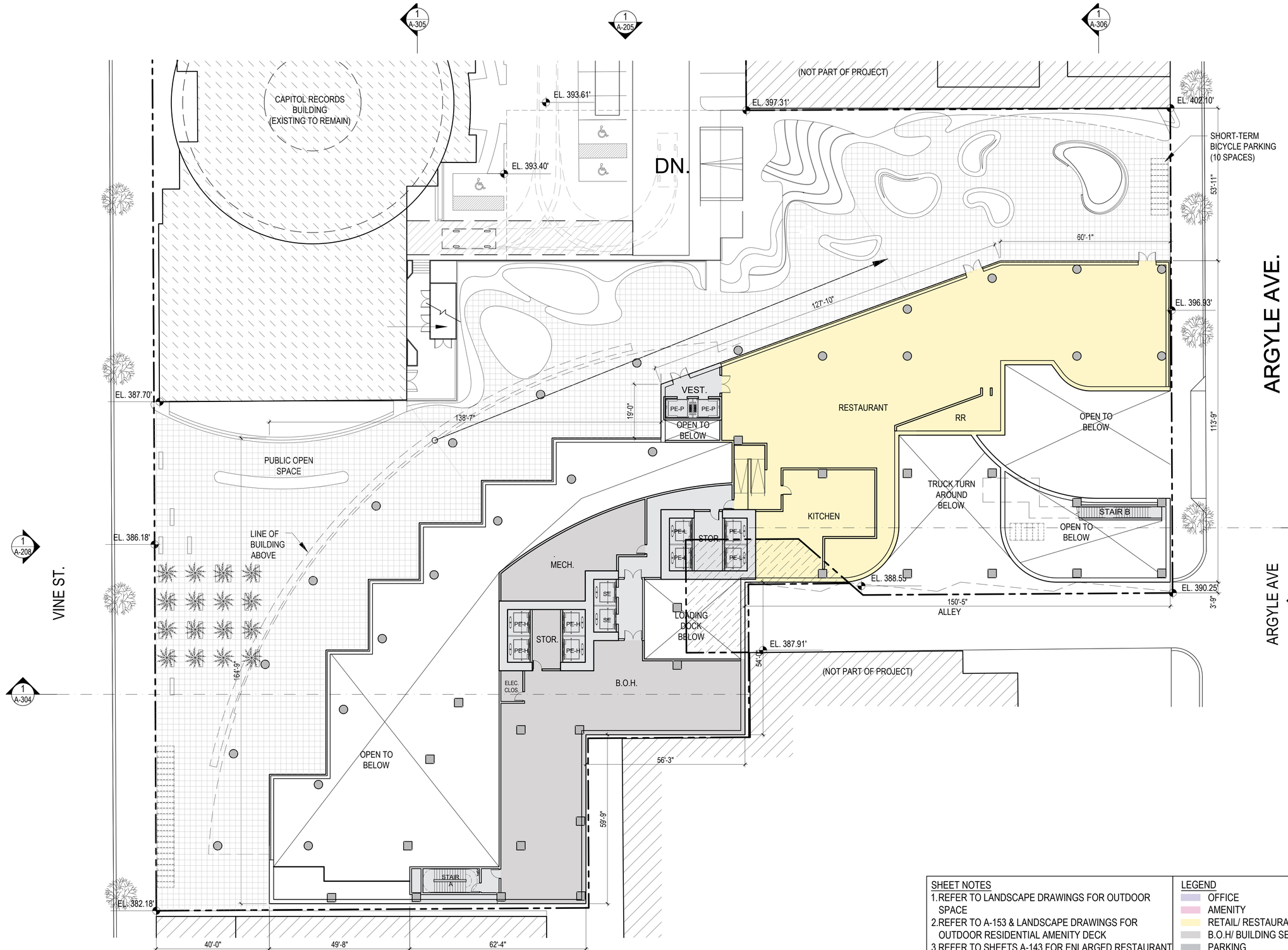

SHEET NOTES	LEGEND
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EASY SITE - LEVEL 01 ARGYLE

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

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ARCHITECT

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LANDSCAPE ARCHITECT

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KPFF
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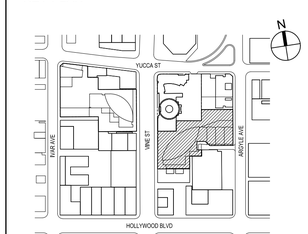
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 01 (ARGYLE)

DRAWING NO:

A-126

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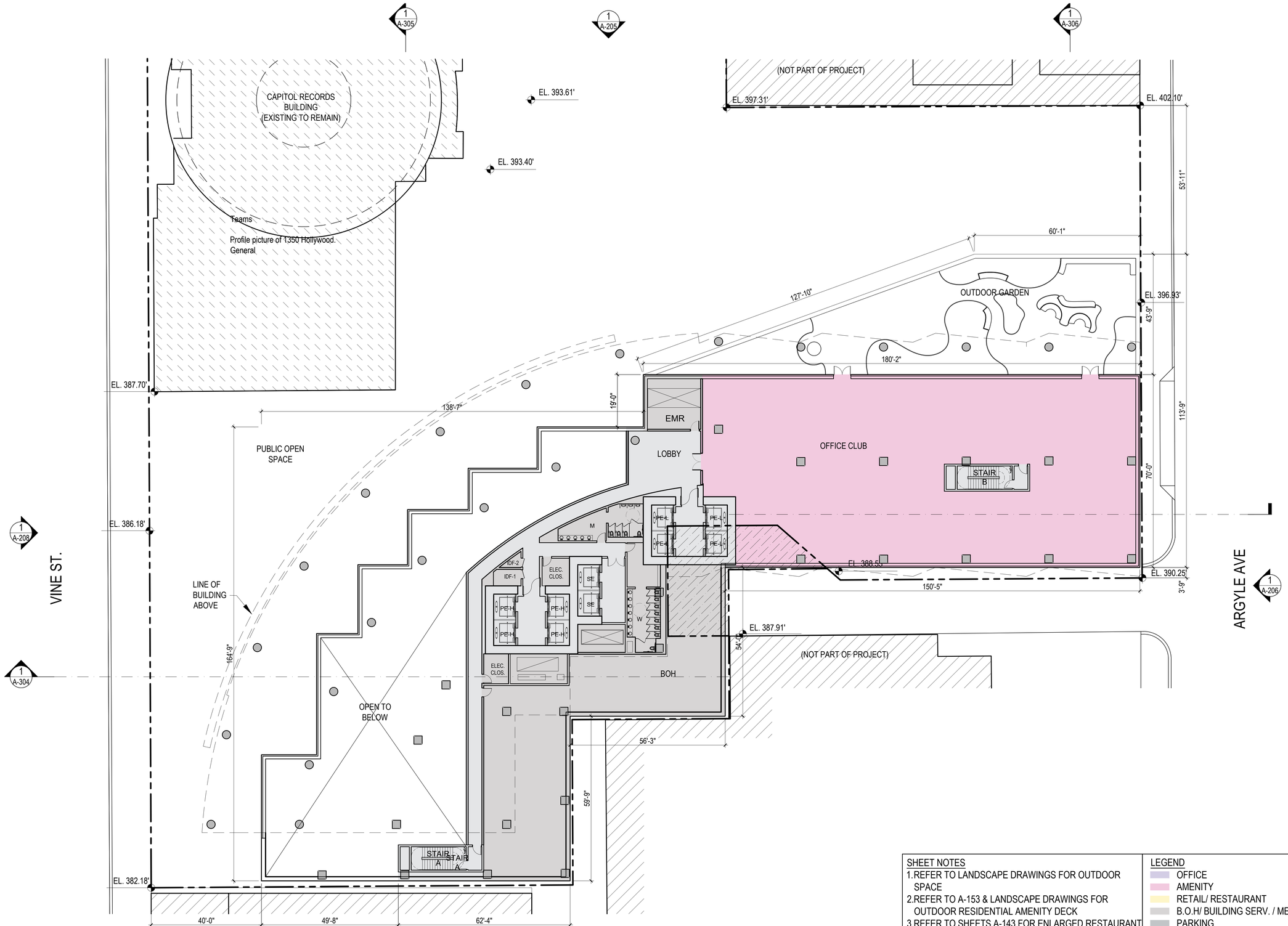

SHEET NOTES	LEGEND
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EAST SITE - LEVEL 01 MEZZ

SCALE: 1/16"= 1'-0"

1

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 01 MEZZ

DRAWING NO:

A-127

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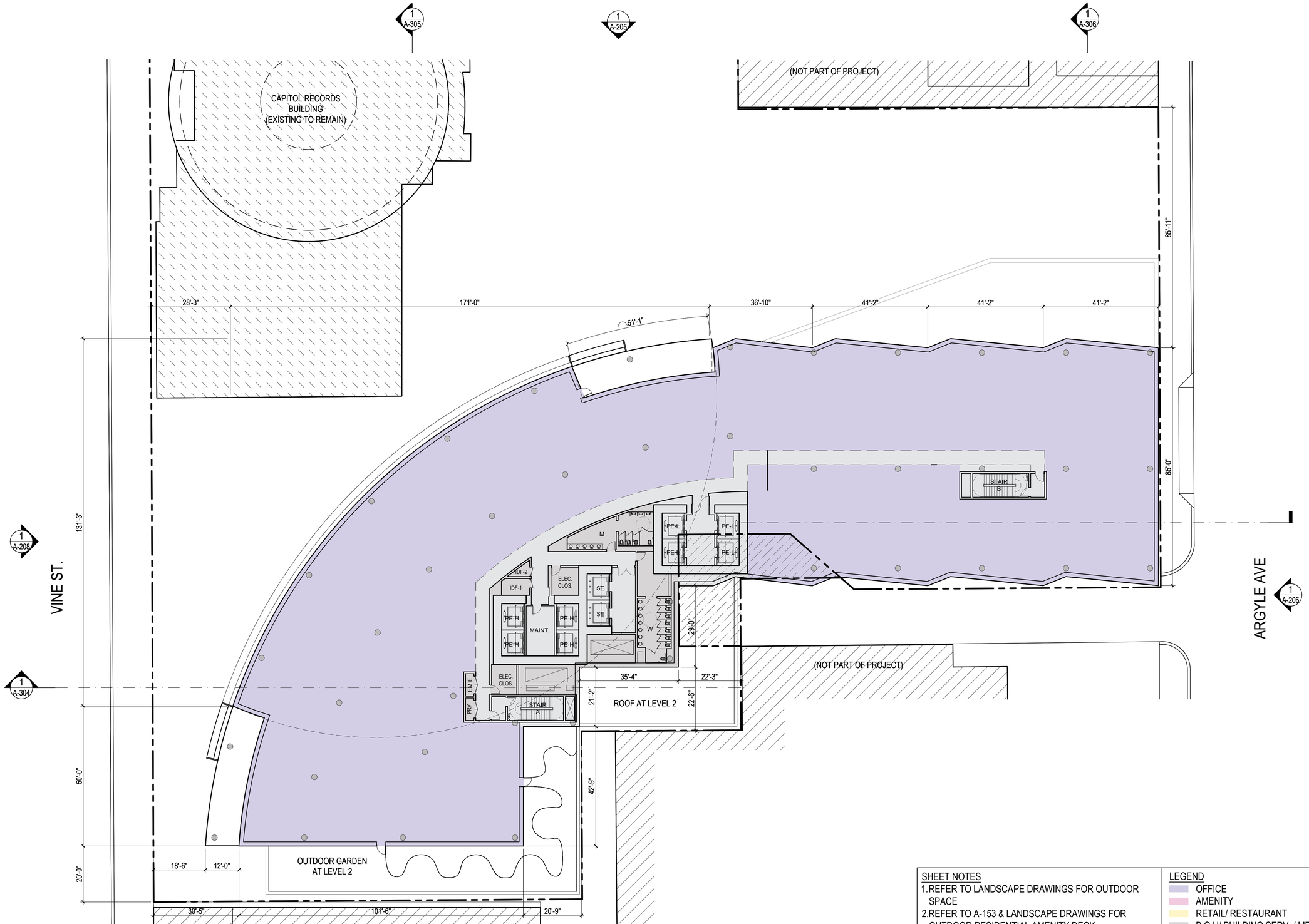

SHEET NOTES	LEGEND
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EASY SITE - LEVEL 02 - 08 AND10 - 11

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

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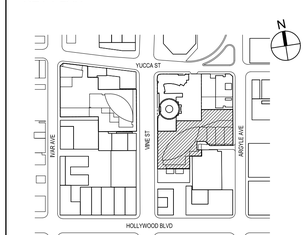
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 02-08 & 10-11

DRAWING NO:

A-128

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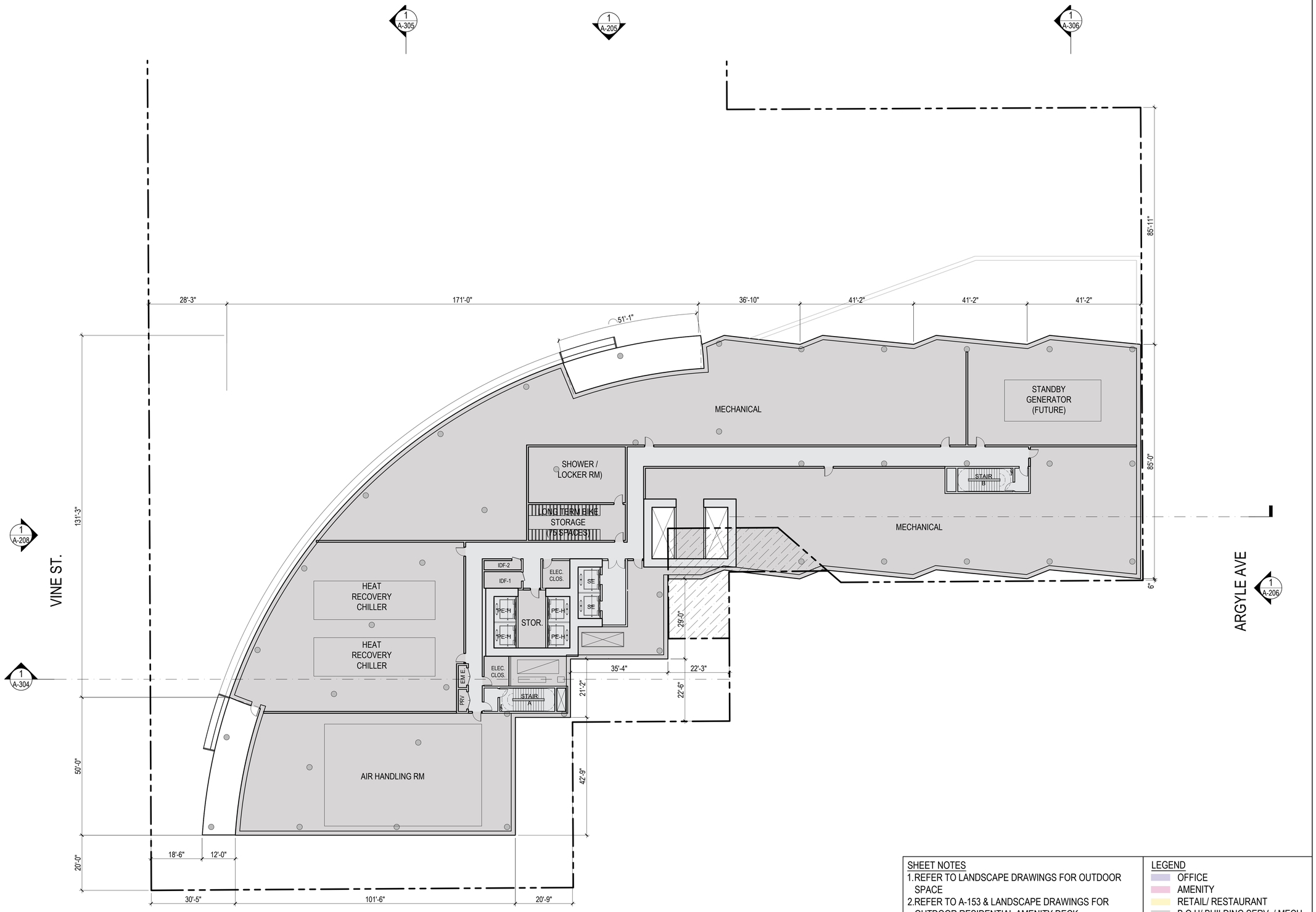

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

EAST SITE - LEVEL 09 MECHANICAL
SCALE: 1/16"= 1'-0"
1

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	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL 09 MECHANICAL

DRAWING NO:
A-129

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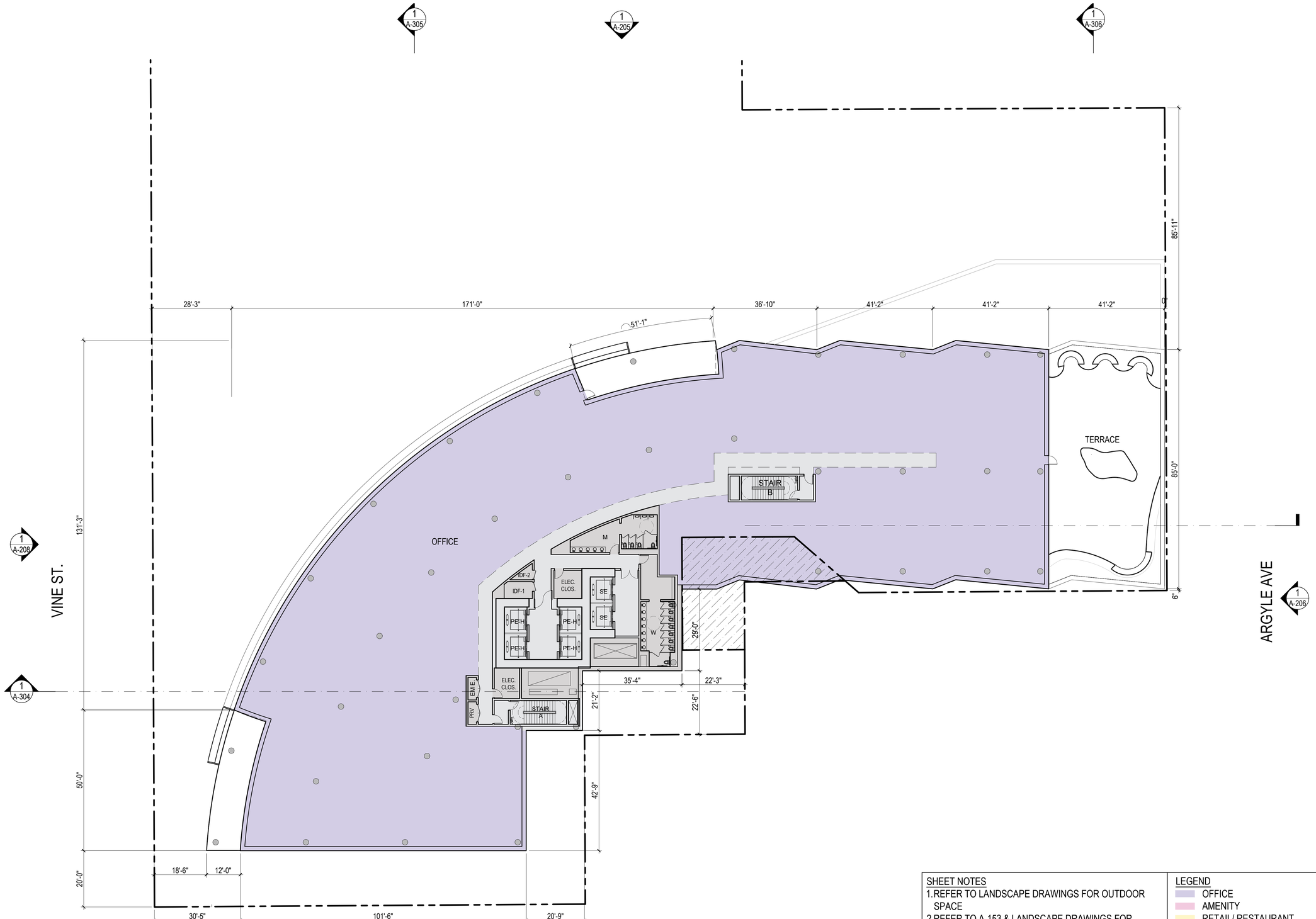

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

SHEET NOTES

1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

EAST SITE - LEVEL 12 - 13

SCALE: 1/16"= 1'-0"

1

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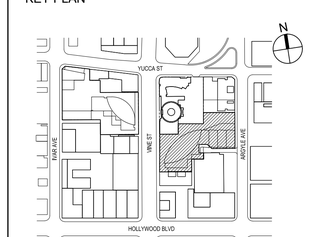
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 12 - 13

DRAWING NO:

A-130

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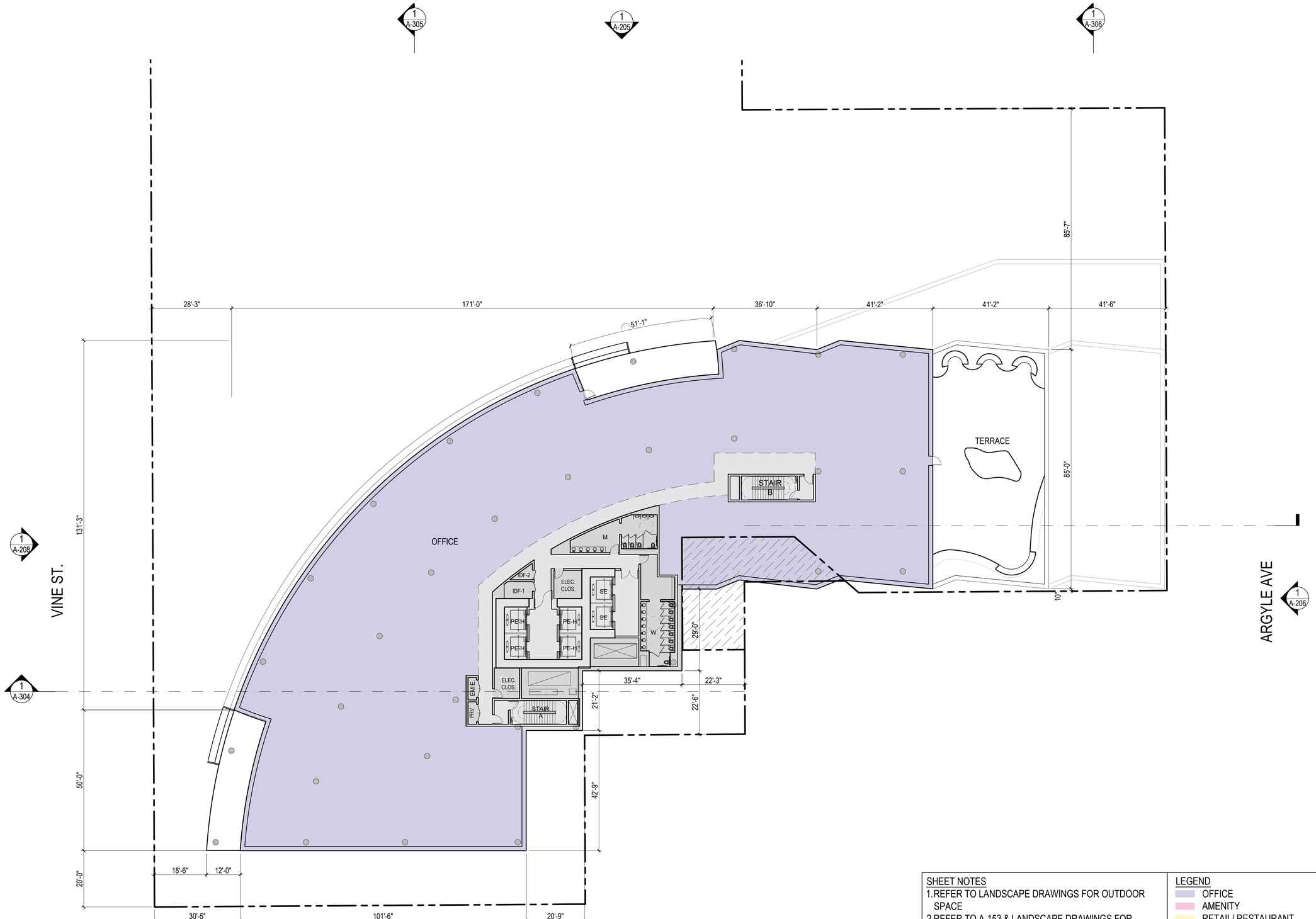

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

SHEET NOTES	LEGEND
1.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2.REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3.REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EAST SITE - LEVEL 14 - 15
SCALE: 1/16"= 1'-0"
1

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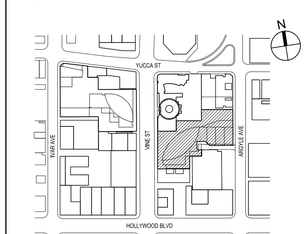
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 14 - 15

DRAWING NO:

A-131

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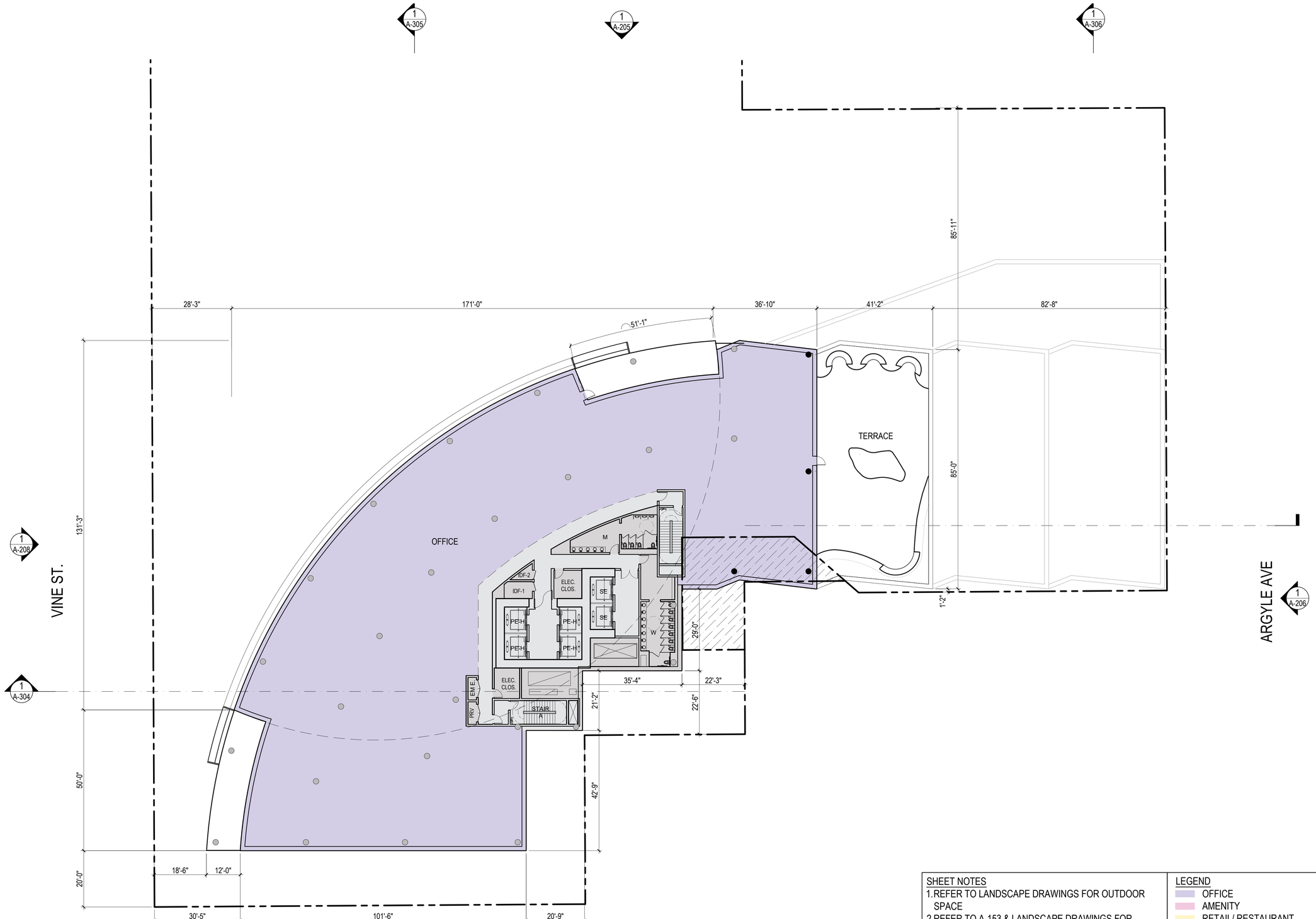

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

SHEET NOTES	LEGEND
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EAST SITE - LEVEL 16 - 17

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

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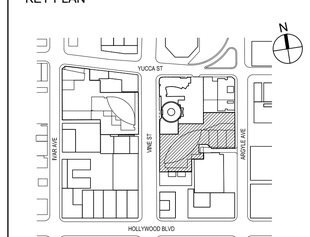
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - LEVEL 16 - 17

DRAWING NO:

A-132

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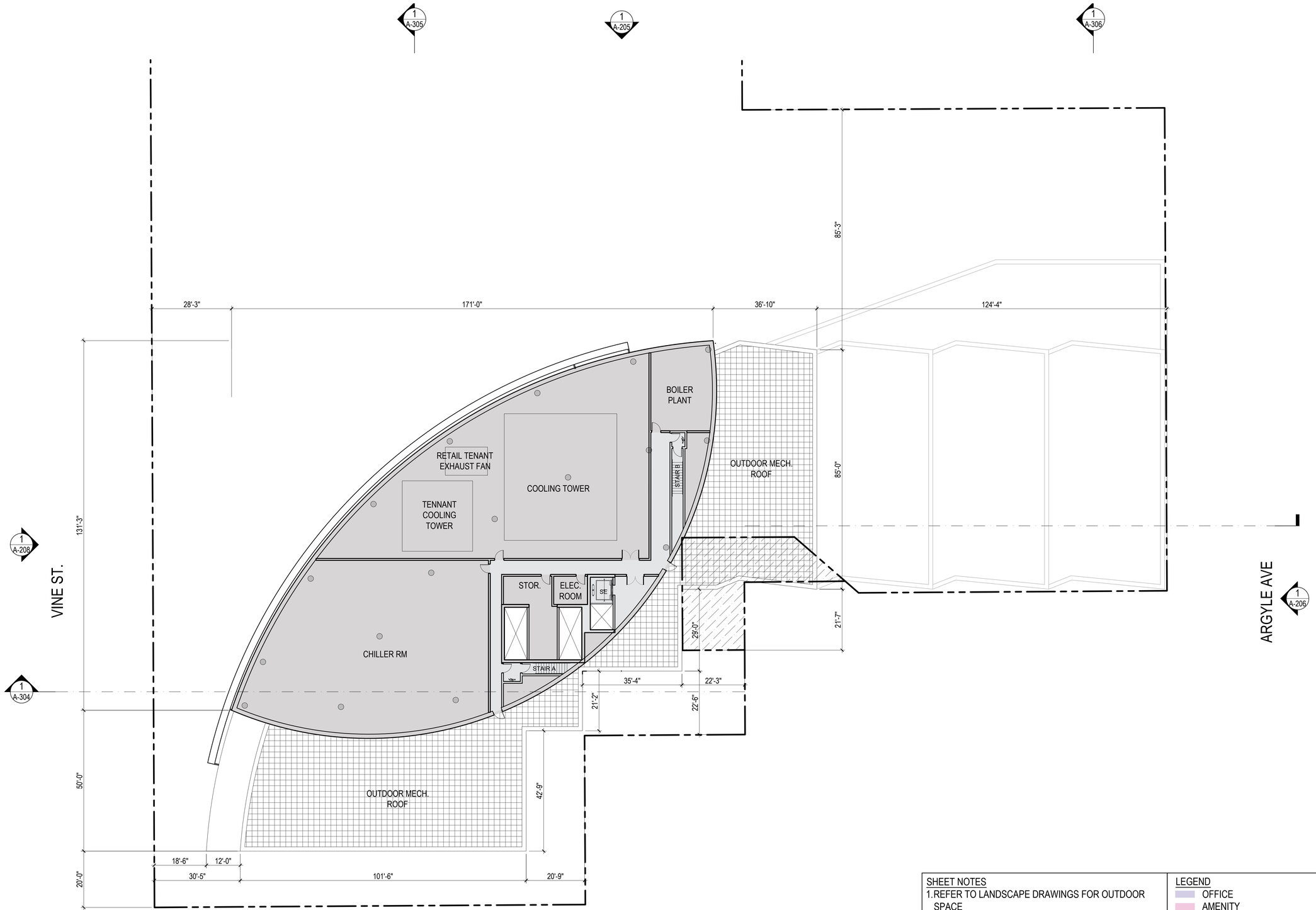

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
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LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

EAST SITE - MECHANICAL PENTHOUSE
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - MECHANICAL PENTHOUSE

DRAWING NO:
A-133

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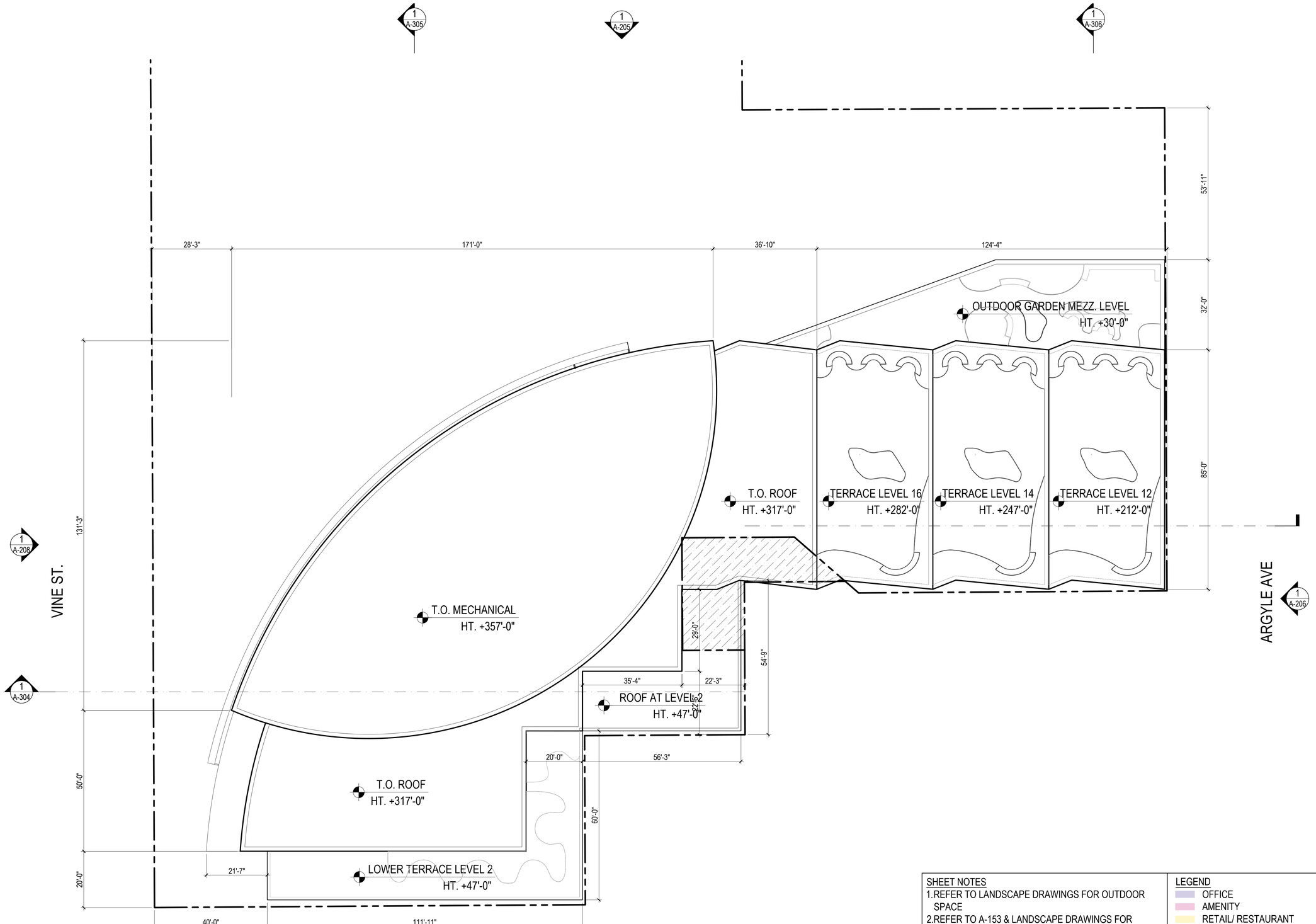

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

SHEET NOTES	LEGEND
1.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE	OFFICE
2.REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	AMENITY
3.REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	B.O.H/ BUILDING SERV. / MECH.
	PARKING

EAST SITE - ROOF
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

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	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - ROOF

DRAWING NO:

A-134

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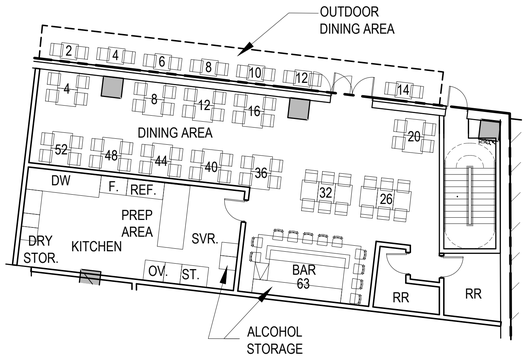
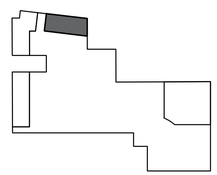
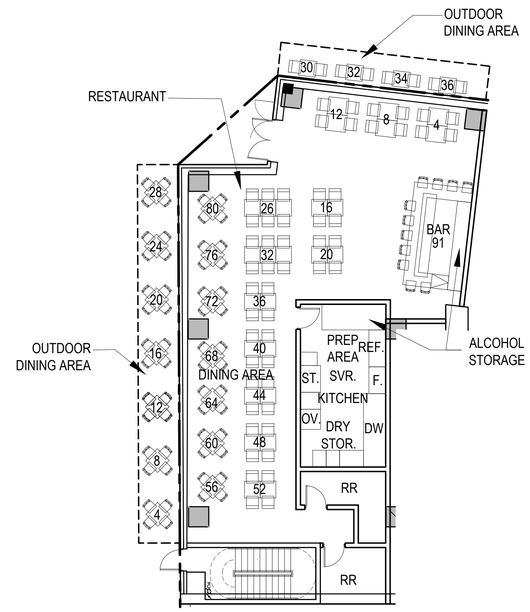
PROGRAM AREA	RESTAURANT 1	RESTAURANT 2	RESTAURANT 3	RESTAURANT 4
INDOOR DINING AREA	4,331 GSF	1,746 GSF	1,706 GSF	1207 GSF
OUTDOOR AREA	731 GSF	423 GSF	502 GSF	300 GSF
TOTAL INDOOR AREA	5,806 GSF	2,798 GSF	2,490 GSF	2,023 GSF
INDOOR SEATING	263	113	91	63
OUTDOOR SEATING	32	36	36	14
TOTAL SEATING	295	149	127	77

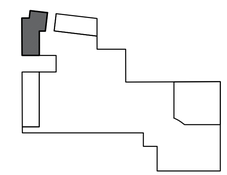




ENLARGED PLAN_RESTAURANT 4 AT WEST SITE (4)

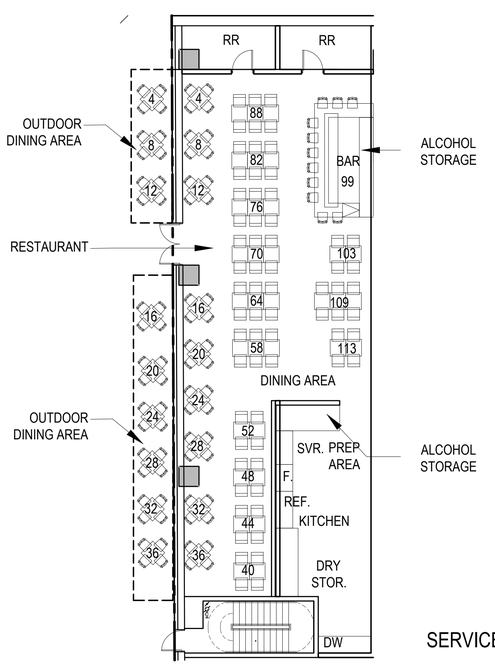
SCALE: 3/32"= 1'-0"





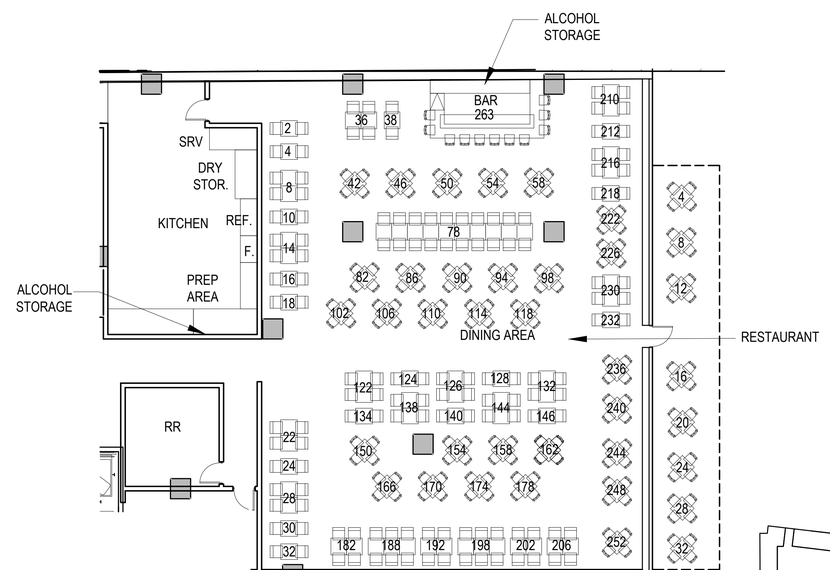
ENLARGED PLAN_RESTAURANT 3 AT WEST SITE (3)

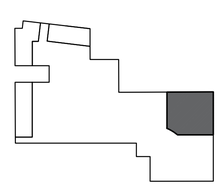
SCALE: 3/32"= 1'-0"



ENLARGED PLAN_RESTAURANT 2 AT WEST SITE (2)

SCALE: 3/32"= 1'-0"





ENLARGED PLAN_RESTAURANT 1 AT WEST SITE (1)

SCALE: 3/32"= 1'-0"

N 0' 4' 8' 16' 32'

SCALE: 3/32" = 1'-0"

HOLLYWOOD CENTER

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE
ENLARGED
RETAIL PLANS

DRAWING NO:

A-141

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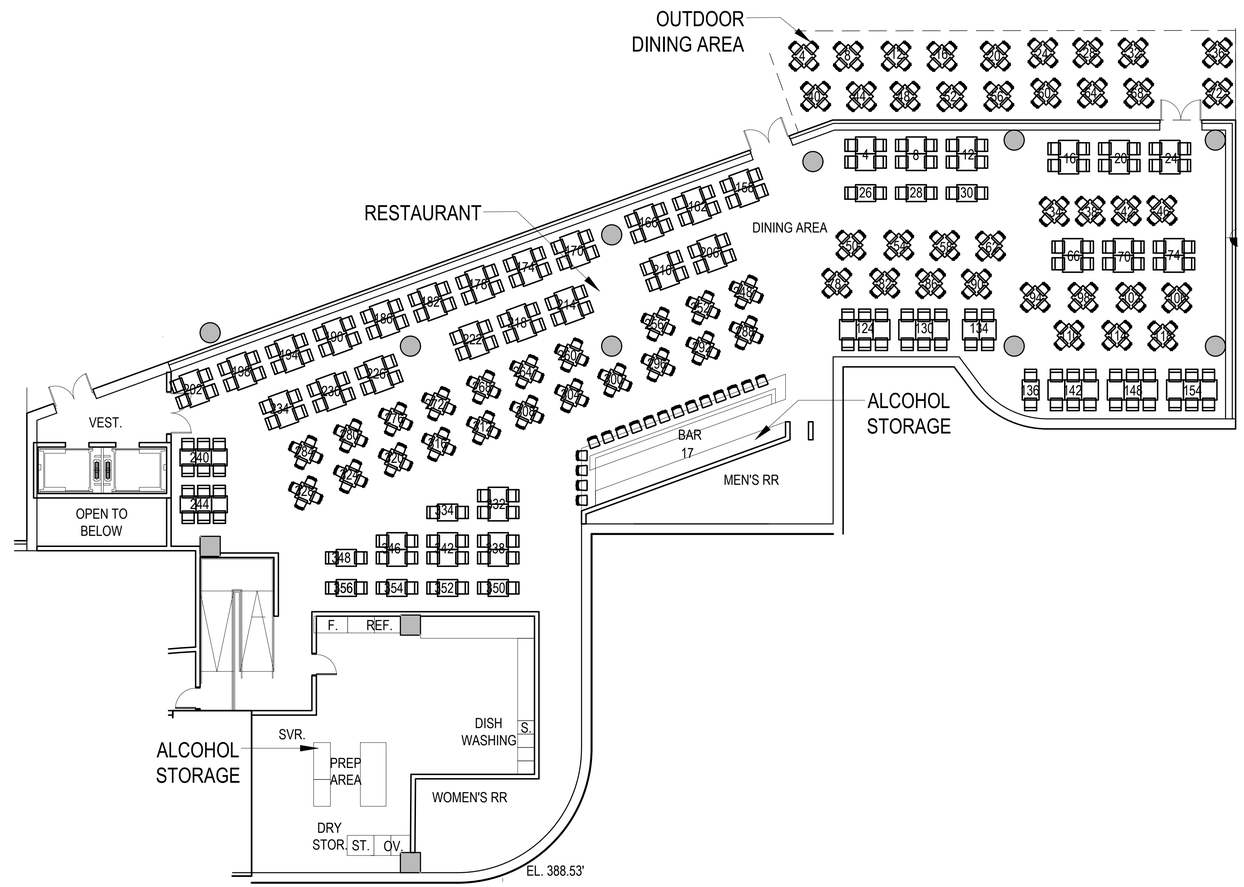
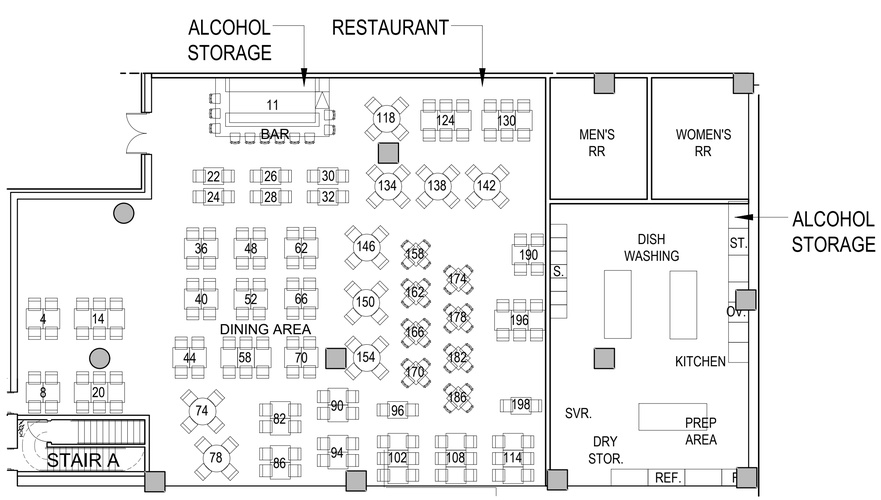
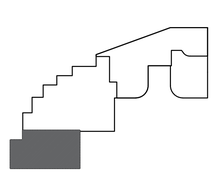
PROGRAM AREA	RESTAURANT 1	RESTAURANT 2
INDOOR DINING AREA	4,222 GSF	6,574 GSF
OUTDOOR AREA	0 GSF	877 GSF
TOTAL INDOOR AREA	6,541 GSF	9,552 GSF
INDOOR SEATING	198	373
OUTDOOR SEATING	0	72
TOTAL SEATING	198	445

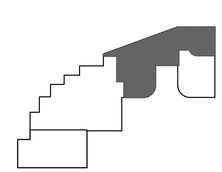






ENLARGED PLAN_RESTAURANT 1 AT WEST SITE (2)

SCALE: 3/32"= 1'-0"



ENLARGED PLAN_RESTAURANT 2 AT WEST SITE (1)

SCALE: 3/32"= 1'-0"

N 0' 4' 8' 16' 32'

SCALE: 3/32" = 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - ENLARGED RETAIL PLANS

DRAWING NO:

A-142

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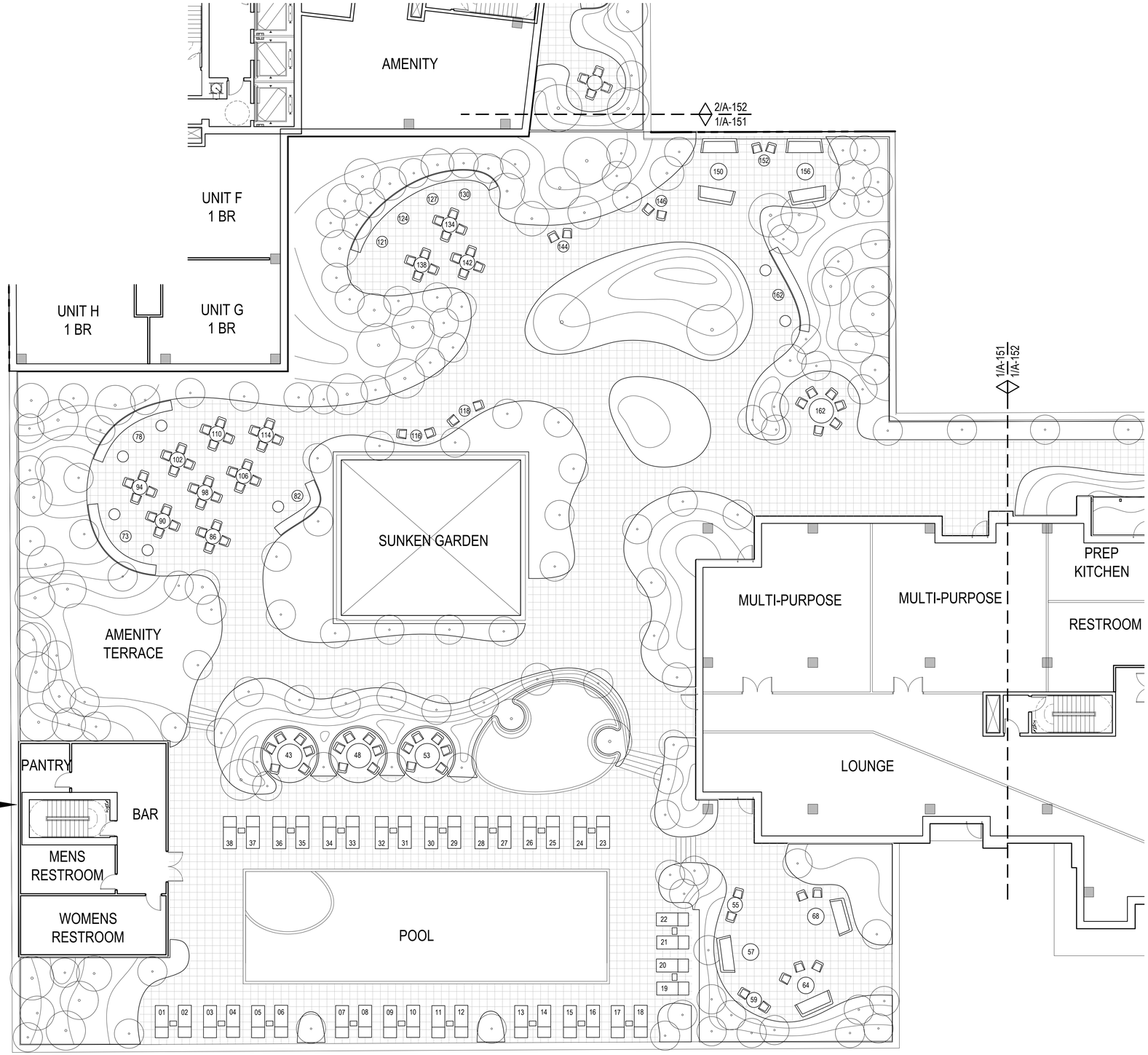

PROGRAM AREA	LEVEL 2 AMENITY
OUTDOOR AREA	31,000 GSF
INDOOR SEATING	82
OUTDOOR SEATING	186
TOTAL SEATING	268

N 0' 4' 8' 16' 32'
SCALE: 3/32" = 1'-0"

ENLARGED PLAN_AMENITY DECK AT WEST SITE (1)
SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

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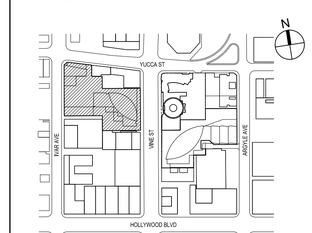
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - ENLARGED AMENITY DECK PLAN

DRAWING NO:
A-151

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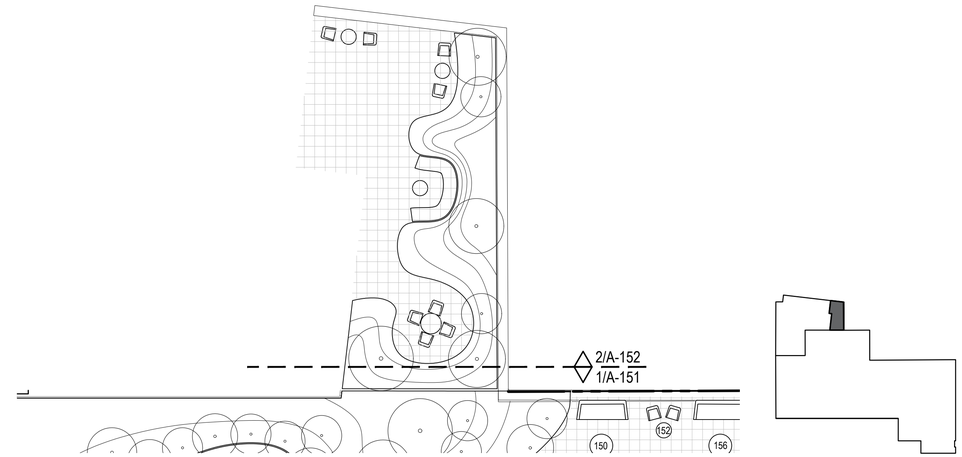
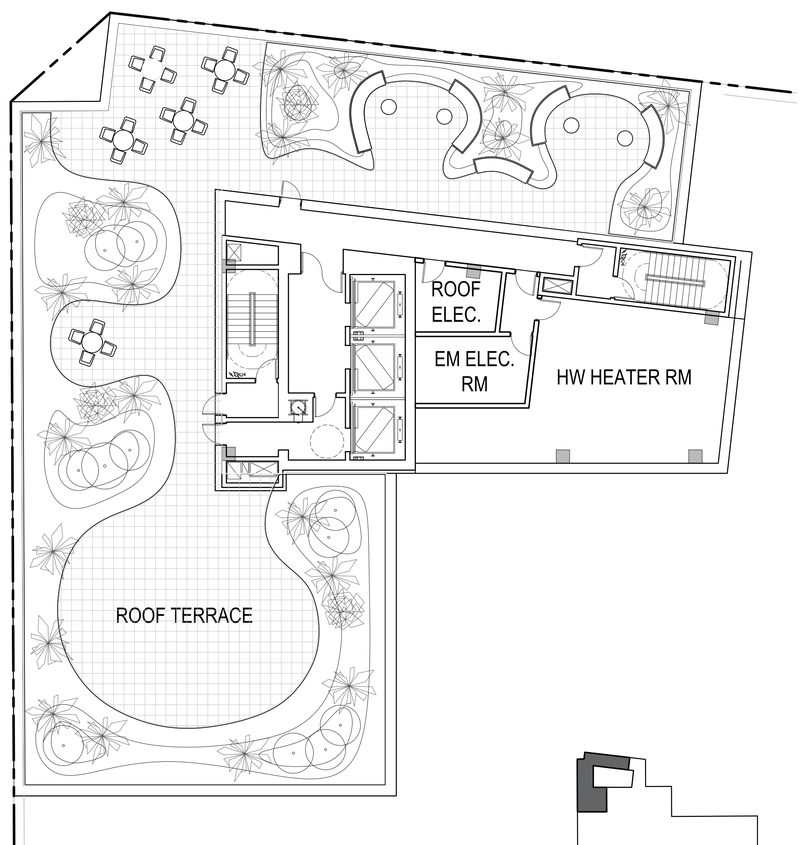
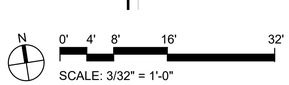


ENLARGED PLAN_AFF SENIOR AFFORDABLE BUILDING AMENITY DECK AT WEST SITE (2)

SCALE: 3/32"= 1'-0"

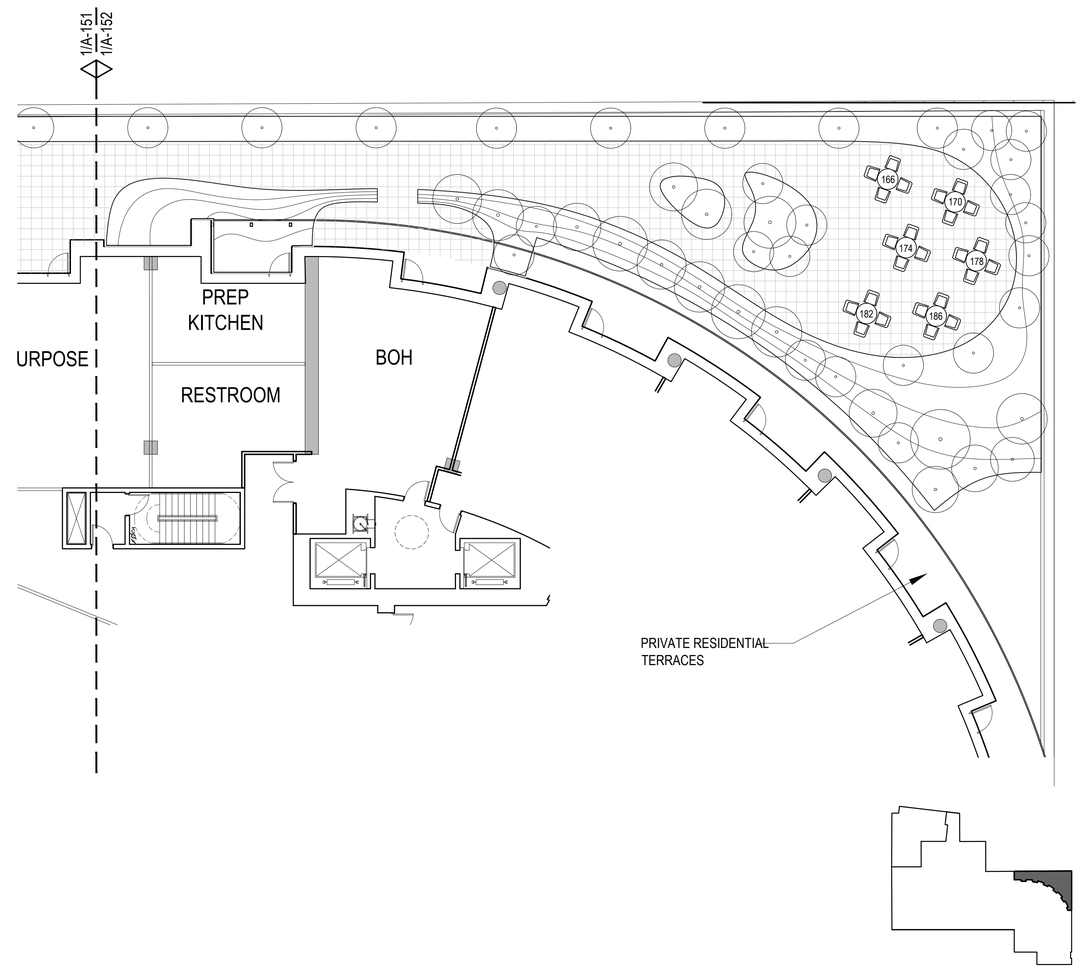




SCALE: 3/32" = 1'-0"

ENLARGED PLAN_AFF SENIOR AFFORDABLE BUILDING AMENITY DECK AT WEST SITE (3)

SCALE: 3/32"= 1'-0"



ENLARGED PLAN_AMENITY DECK AT WEST SITE (1)

SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

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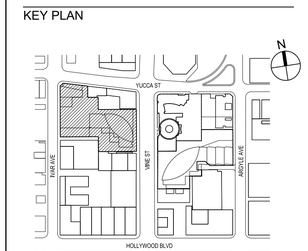
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - ENLARGED AMENITY DECK PLANS

DRAWING NO:

A-152

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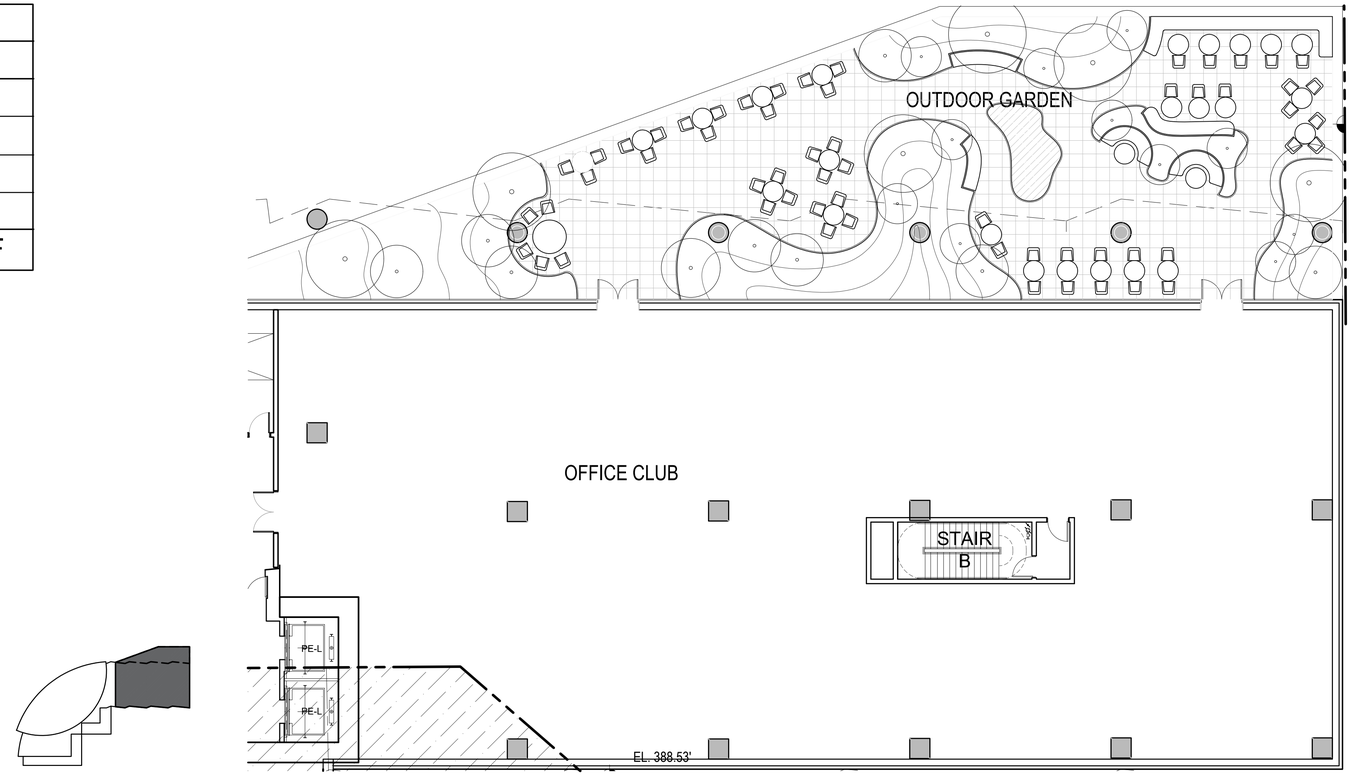
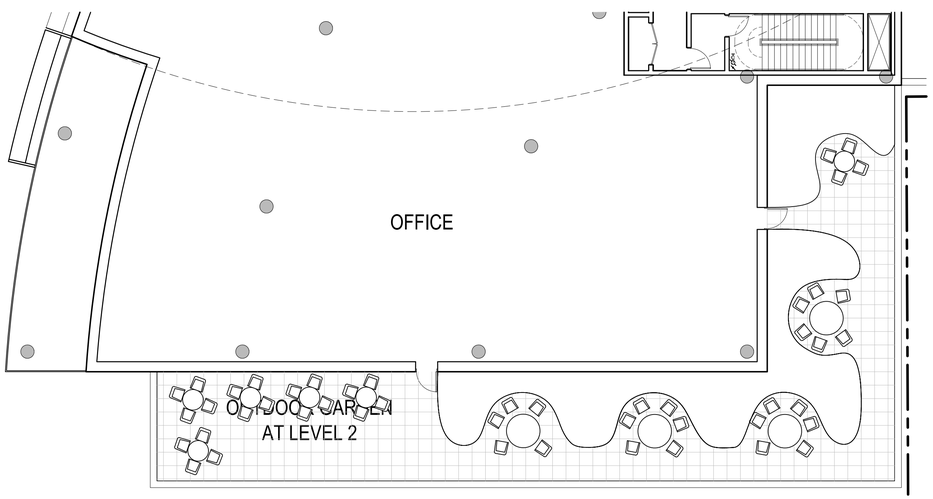
PROGRAM AREA	AMENITY 1 (A,B,C)	AMENITY 2	AMENITY 3
INDOOR AREA	0 SF	0 SF	9,872 SF
INDOOR SEATING	0	0	0
OUTDOOR OPEN SPACE	3,250 SF	423 SF	4,910 SF
OUTDOOR PLANTING	0 SF	423 SF	0 SF
OUTDOOR SEATING	0	0	0
TOTAL AREA	3, 250 SF	1,678 SF	14,782 SF

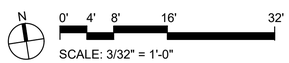


ENLARGED PLAN_AMENITY TERRACE 3 AT EAST SITE

SCALE: 3/32"= 1'-0"

3



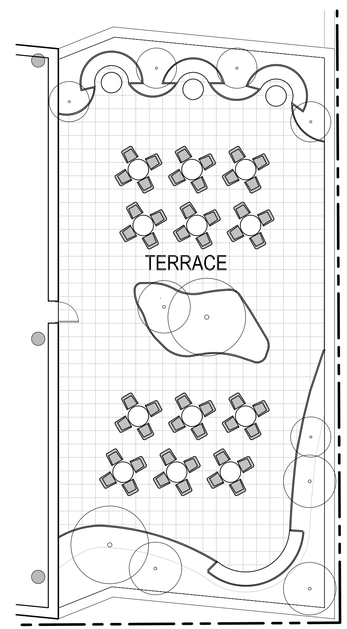


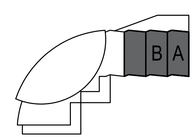
SCALE: 3/32" = 1'-0"

ENLARGED PLAN_AMENITY TERRACE 2 AT EAST SITE

SCALE: 3/32"= 1'-0"

2





ENLARGED PLAN_TYPICAL AMENITY TERRACE 1A,1B,1C AT EAST SITE

SCALE: 3/32"= 1'-0"

1

HOLLYWOOD CENTER

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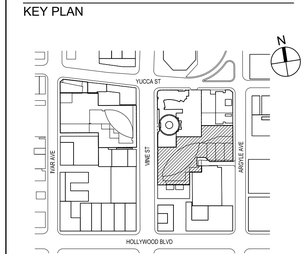
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - ENLARGED AMENITY DECK PLAN

DRAWING NO:

A-153

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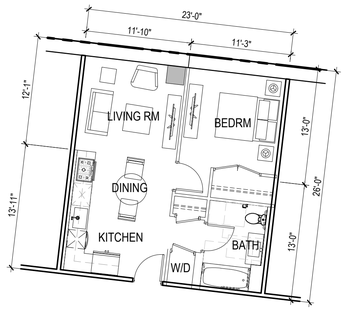
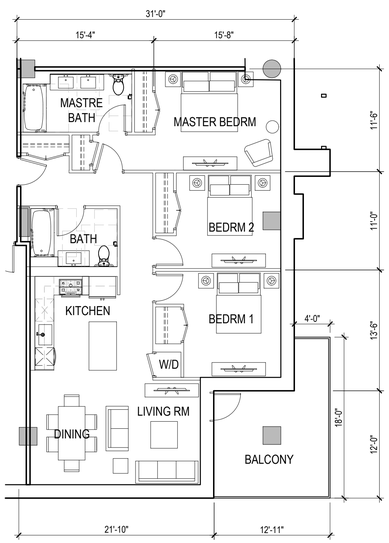


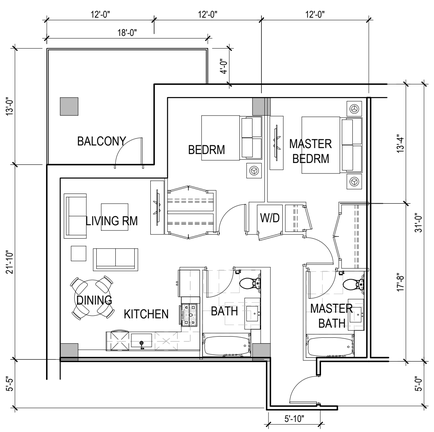
WEST SITE: AFFORDABLE - 1 BEDRM (5)

SCALE: 1/8"= 1'-0"



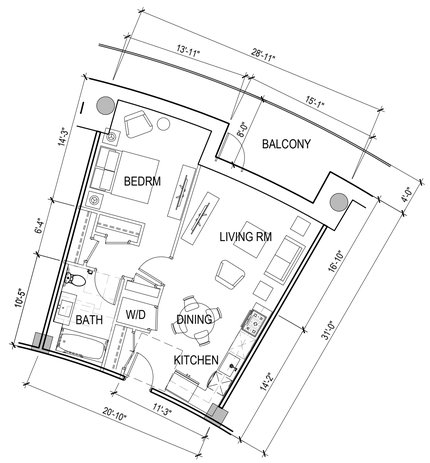
WEST SITE: MARKET RATE -3 BEDRM (4)

SCALE: 1/8"= 1'-0"



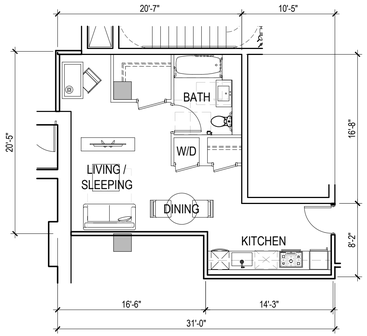
WEST SITE: MARKET RATE -2 BEDRM (3)

SCALE: 1/8"= 1'-0"



WEST SITE: MARKET RATE - 1 BEDRM (2)

SCALE: 1/8"= 1'-0"



WEST SITE: MARKET RATE - STUDIO (1)

SCALE: 1/8"= 1'-0"

N 0' 4' 8' 16' 32'

SCALE: 1/8" = 1'-0"

HOLLYWOOD CENTER

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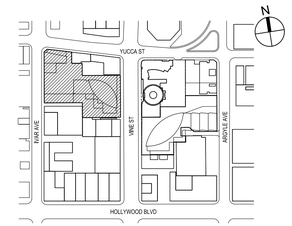
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - ENLARGED UNIT PLANS

DRAWING NO:

A-161

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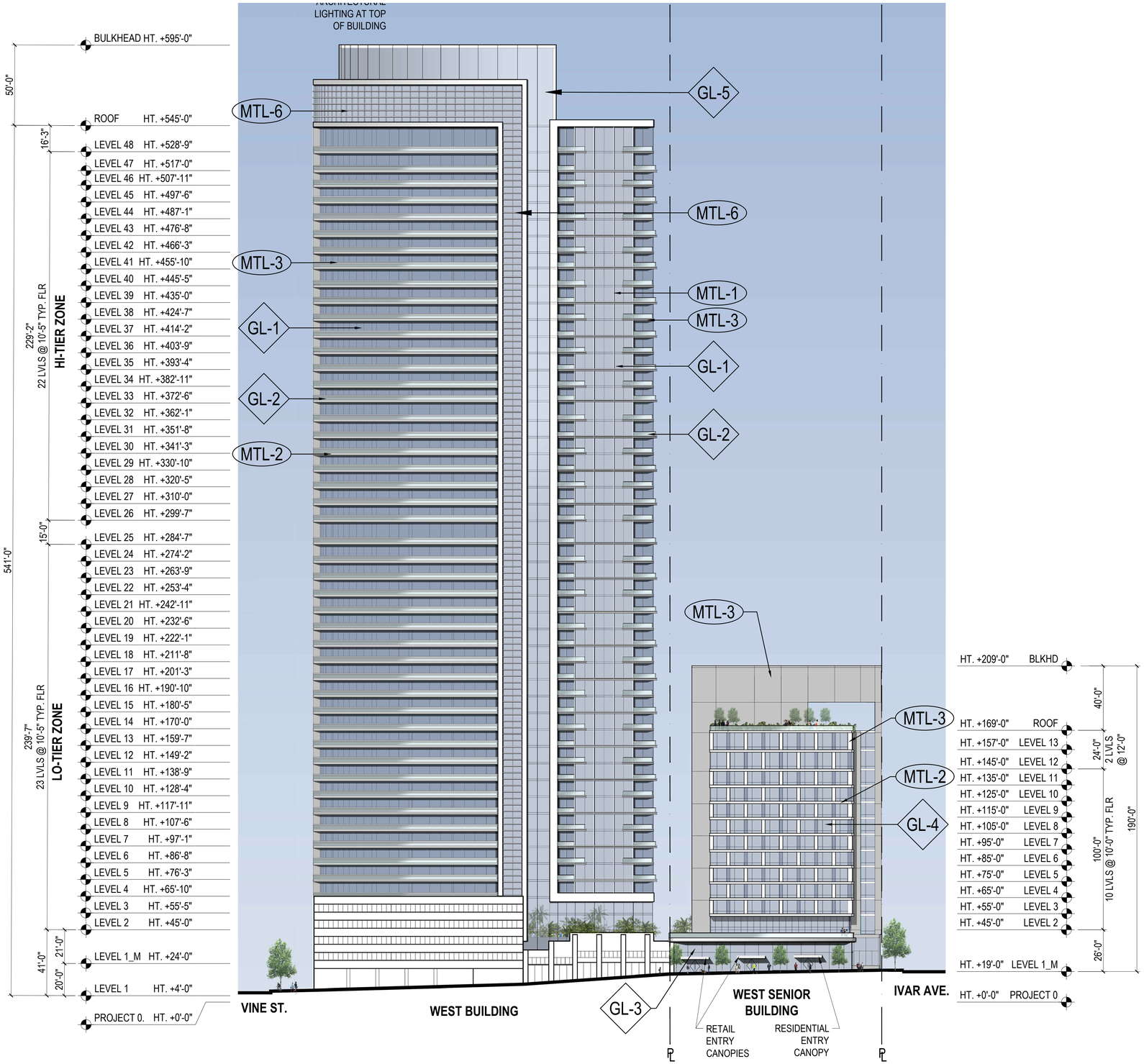

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - NORTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

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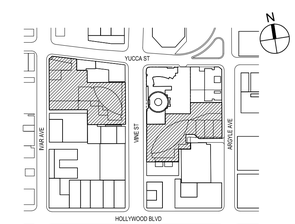
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - NORTH ELEVATION

DRAWING NO:

A-201

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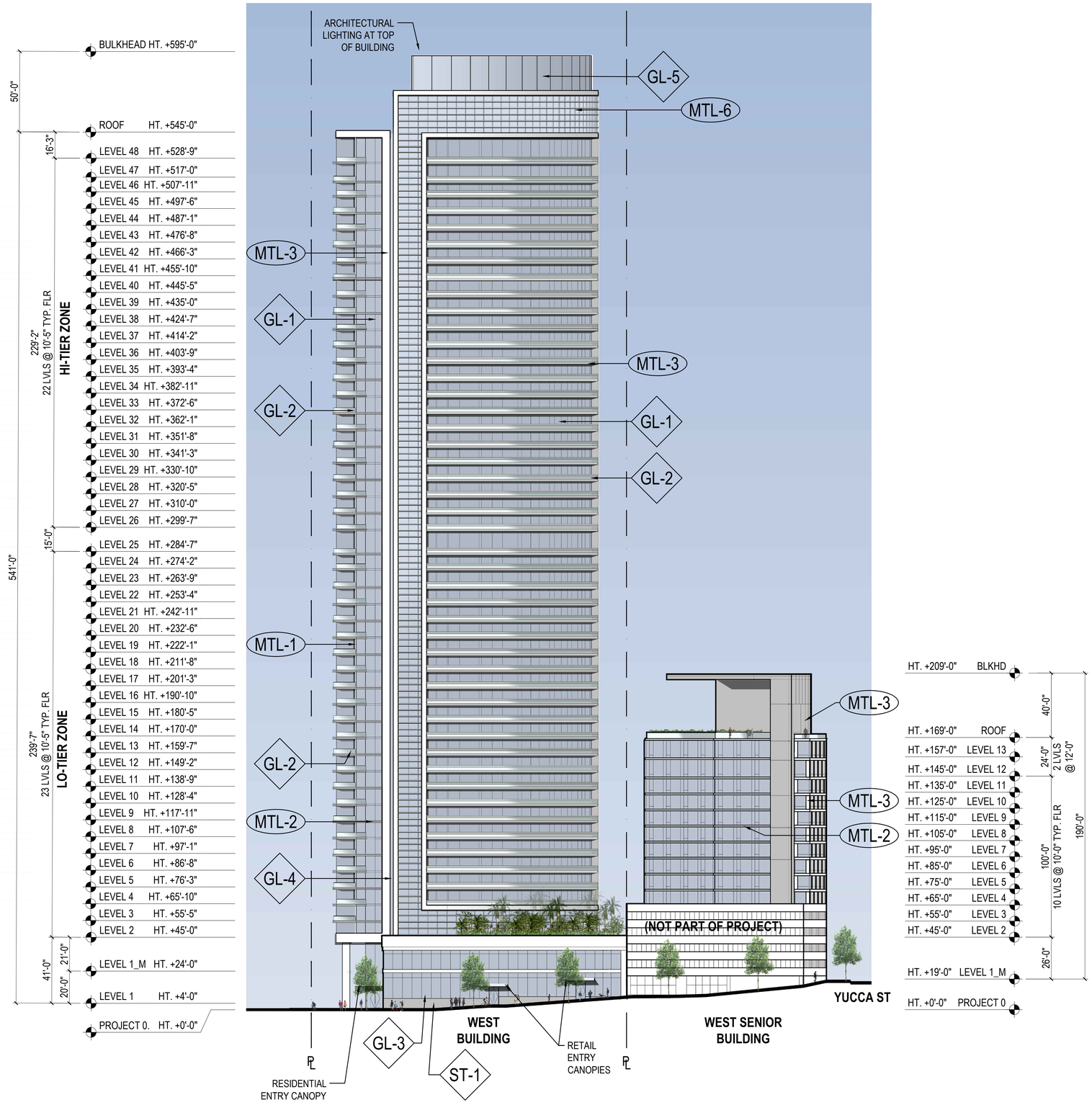

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - WEST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

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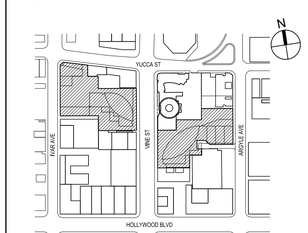
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - EAST ELEVATION

DRAWING NO:

A-202

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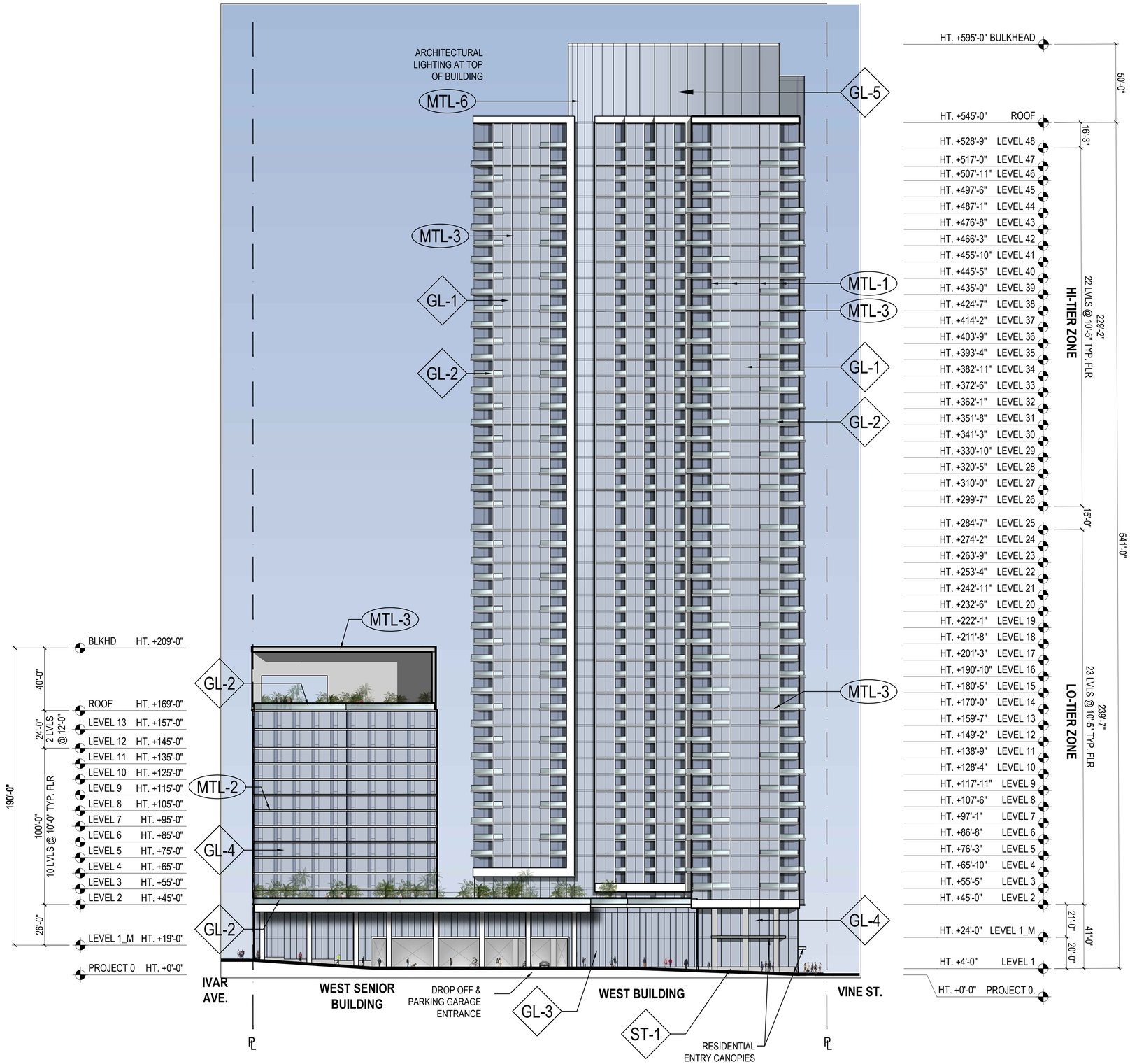

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - SOUTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

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- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

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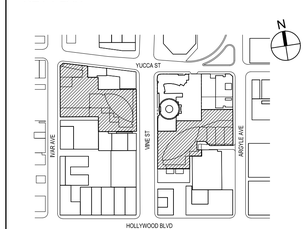
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - SOUTH ELEVATION

DRAWING NO:

A-203

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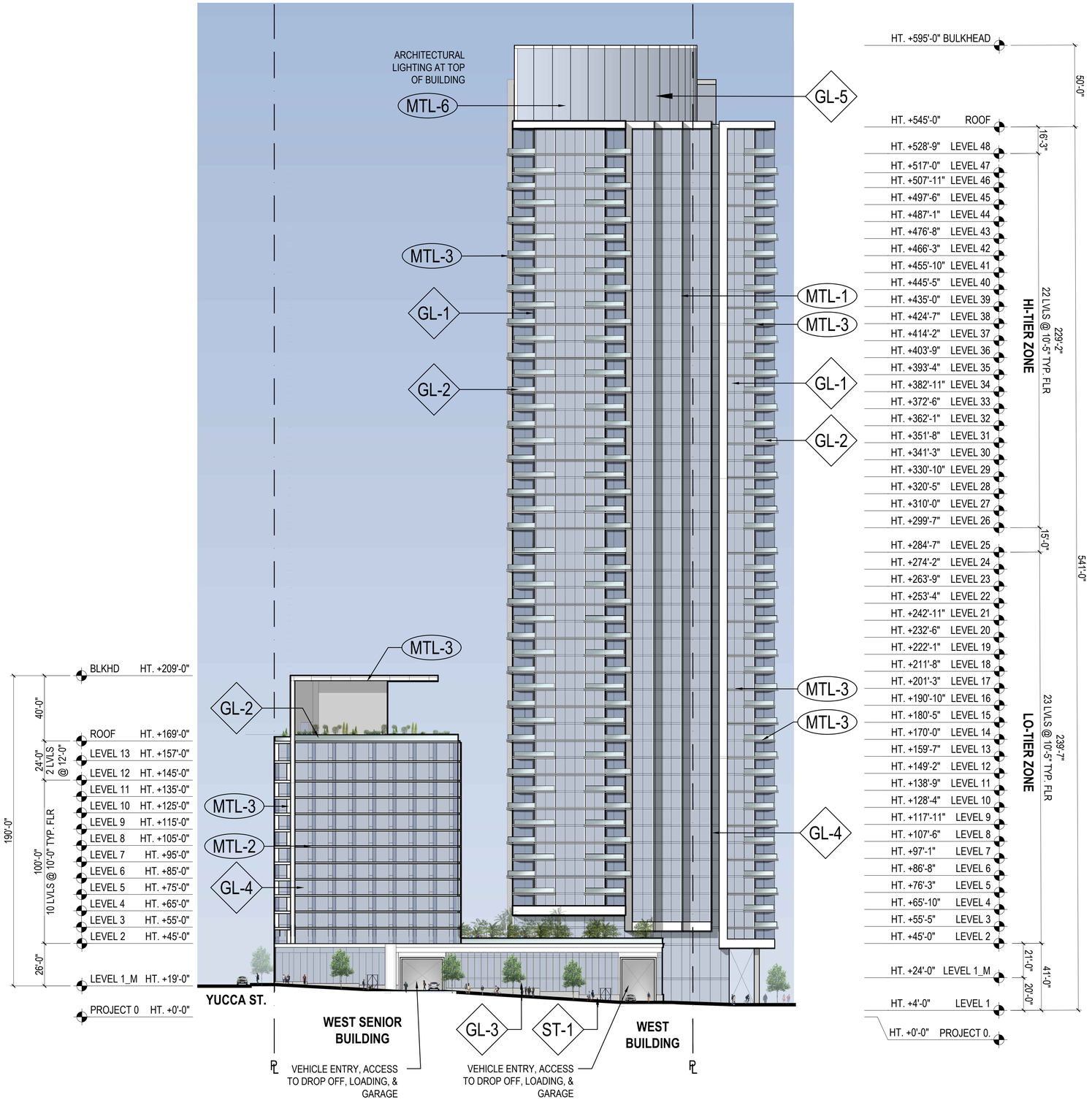

WEST SITE - EAST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
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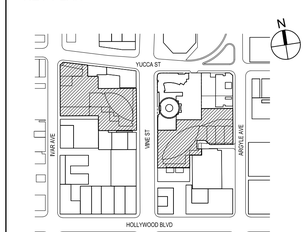
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - WEST ELEVATION

DRAWING NO:

A-204

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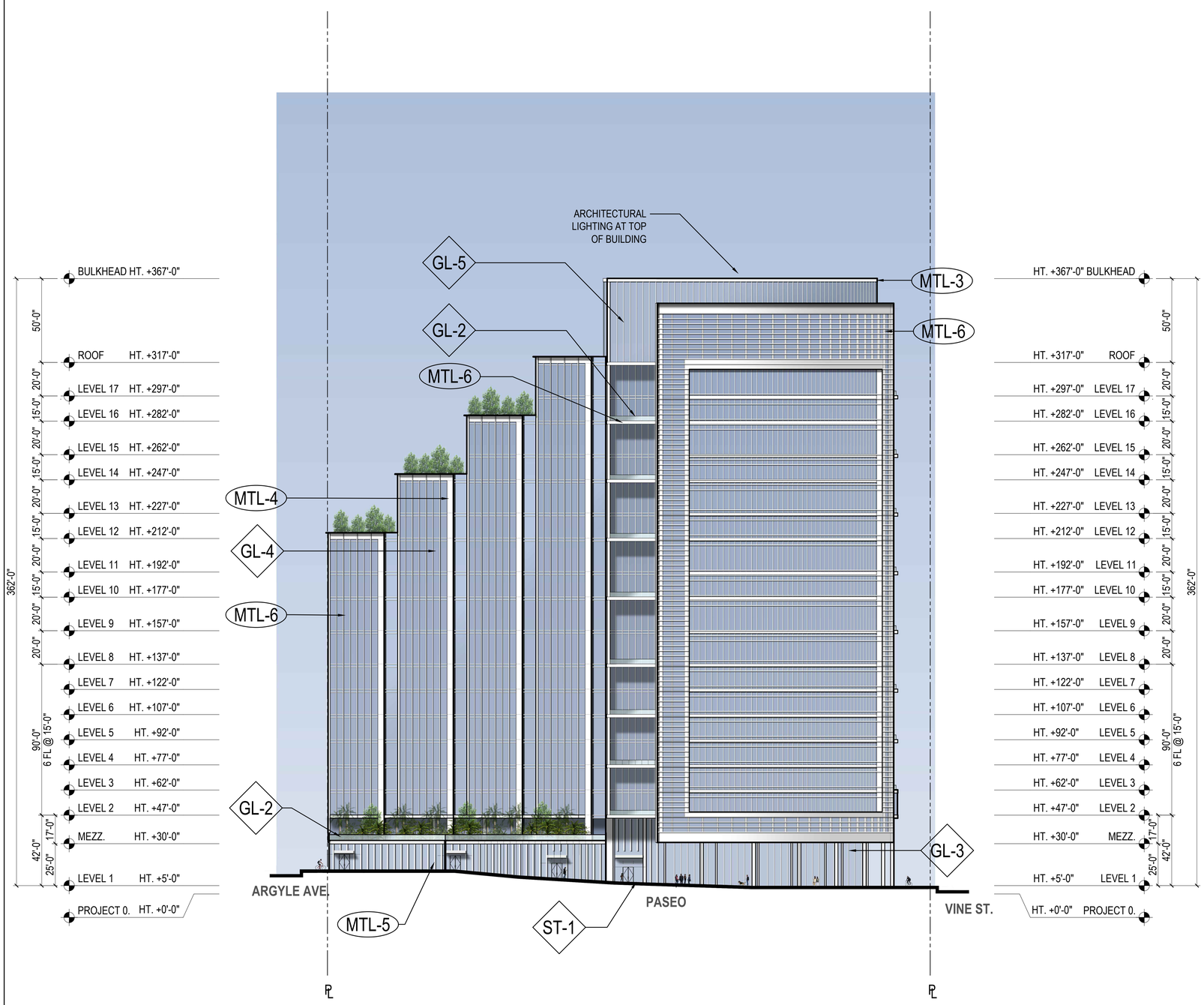

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - NORTH ELEVATION

1

SCALE: 1/32"= 1'-0"

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

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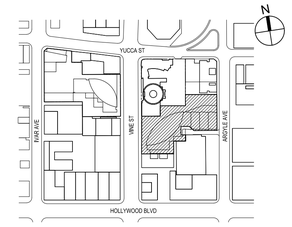
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - NORTH ELEVATION

DRAWING NO:

A-205

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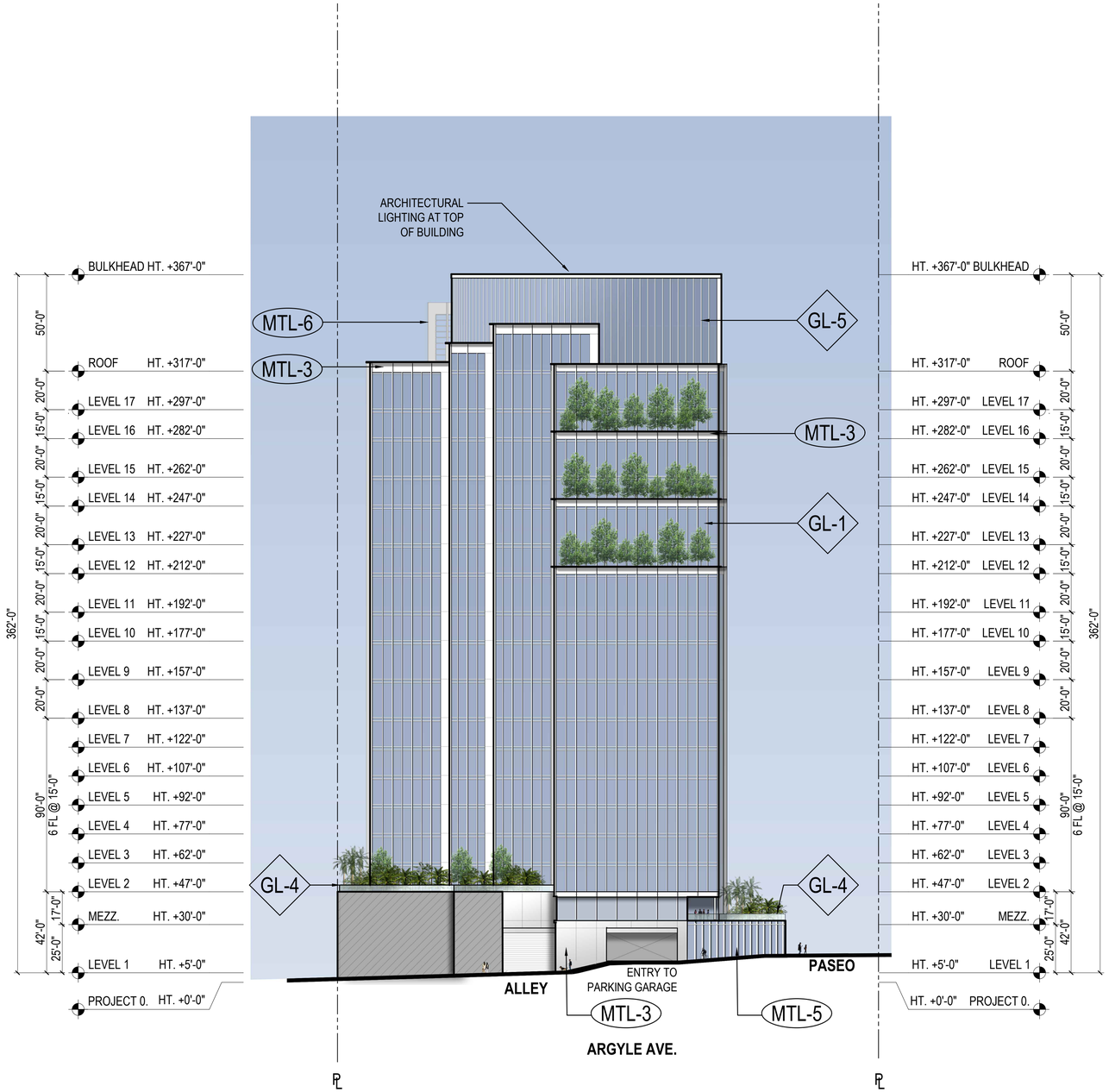

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - EAST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

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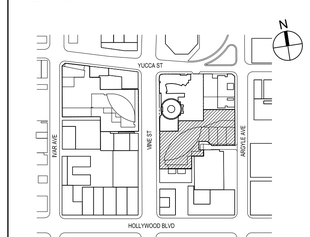
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - EAST ELEVATION

DRAWING NO:

A-206

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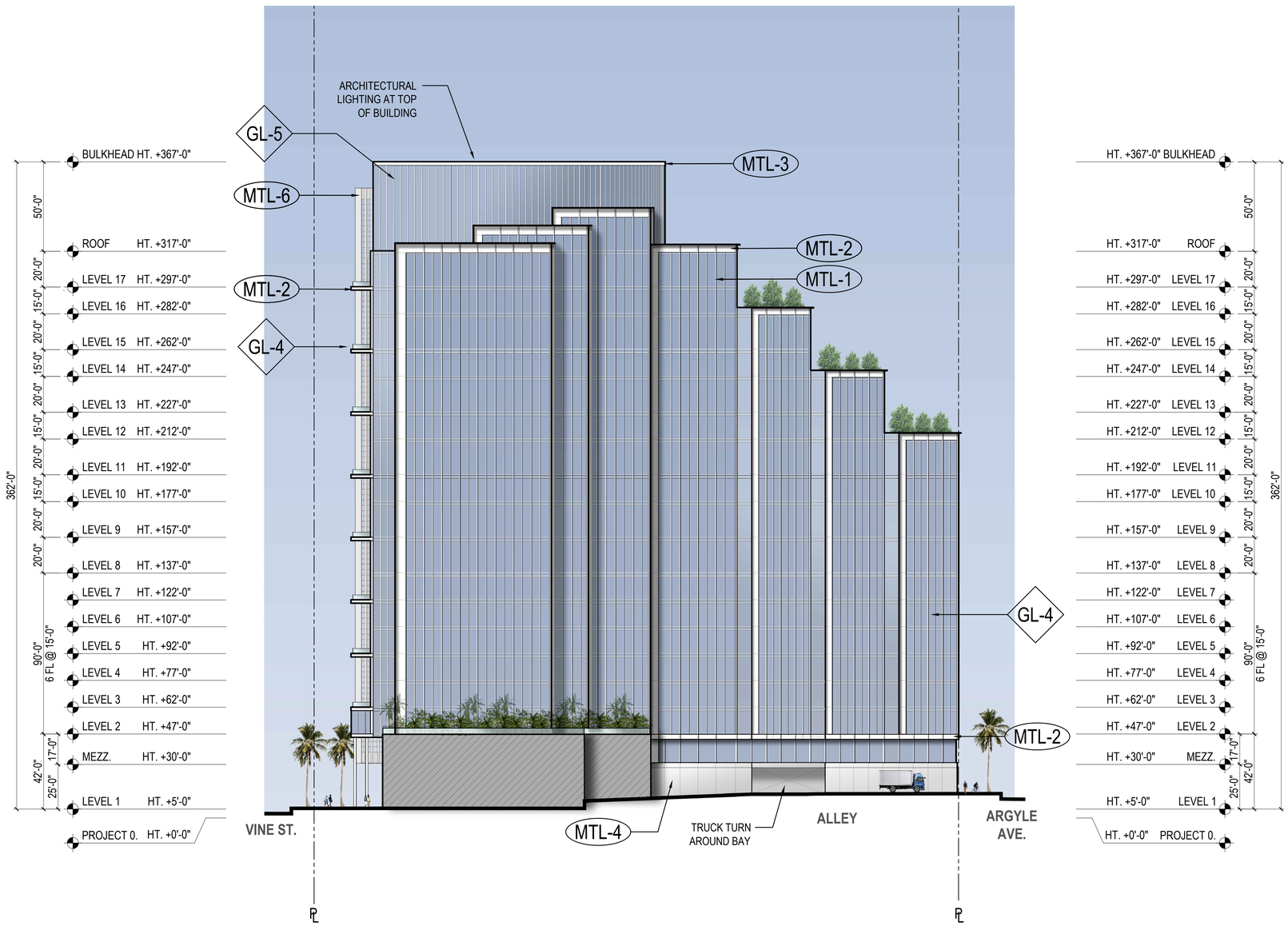

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - SOUTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

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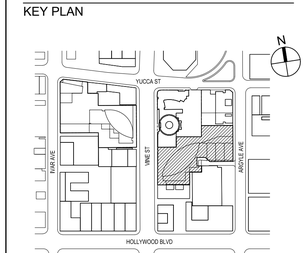
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - SOUTH ELEVATION

DRAWING NO:

A-207

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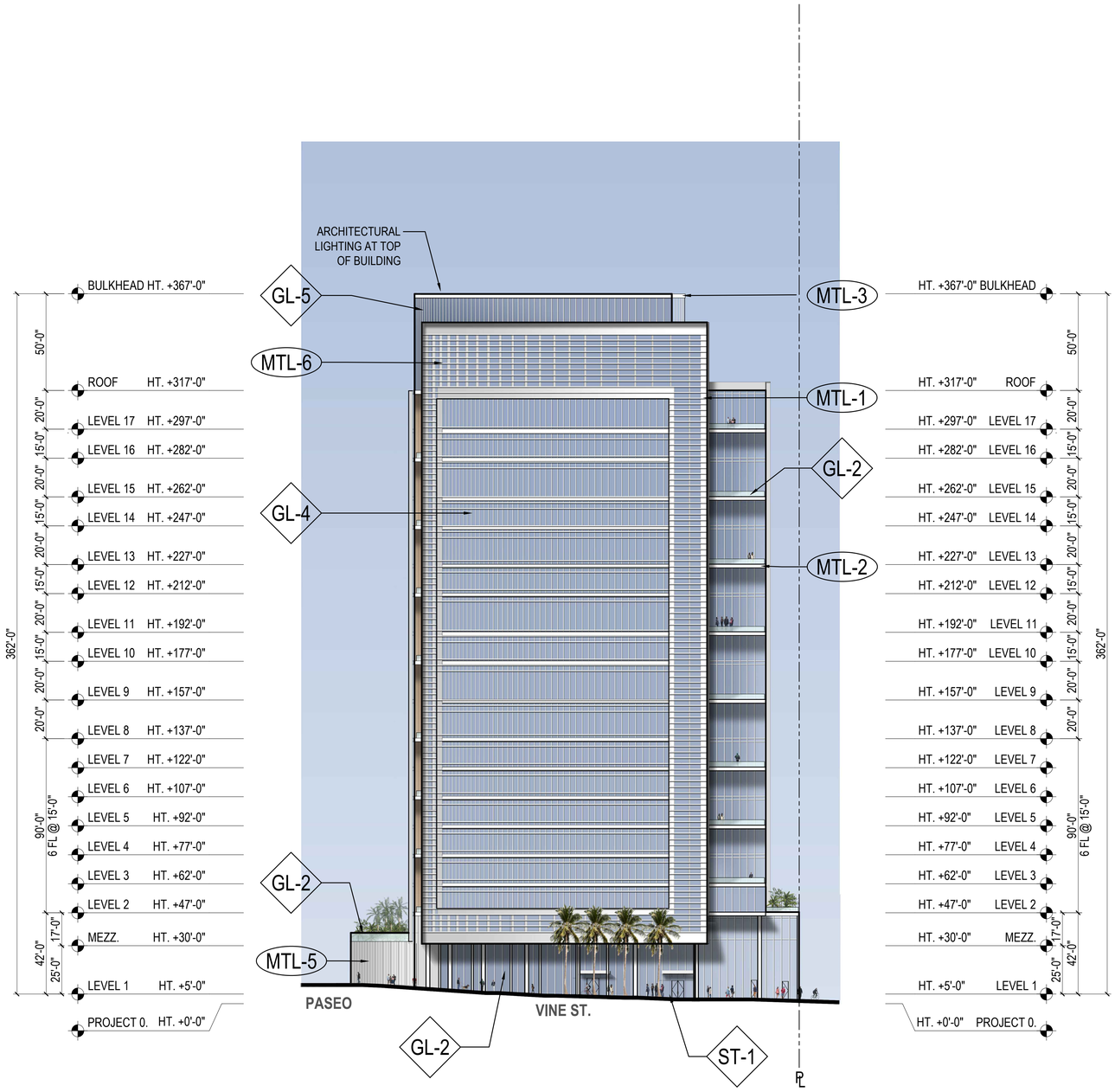

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - WEST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:
EAST ELEVATION - WEST ELEVATION

DRAWING NO:

A-208

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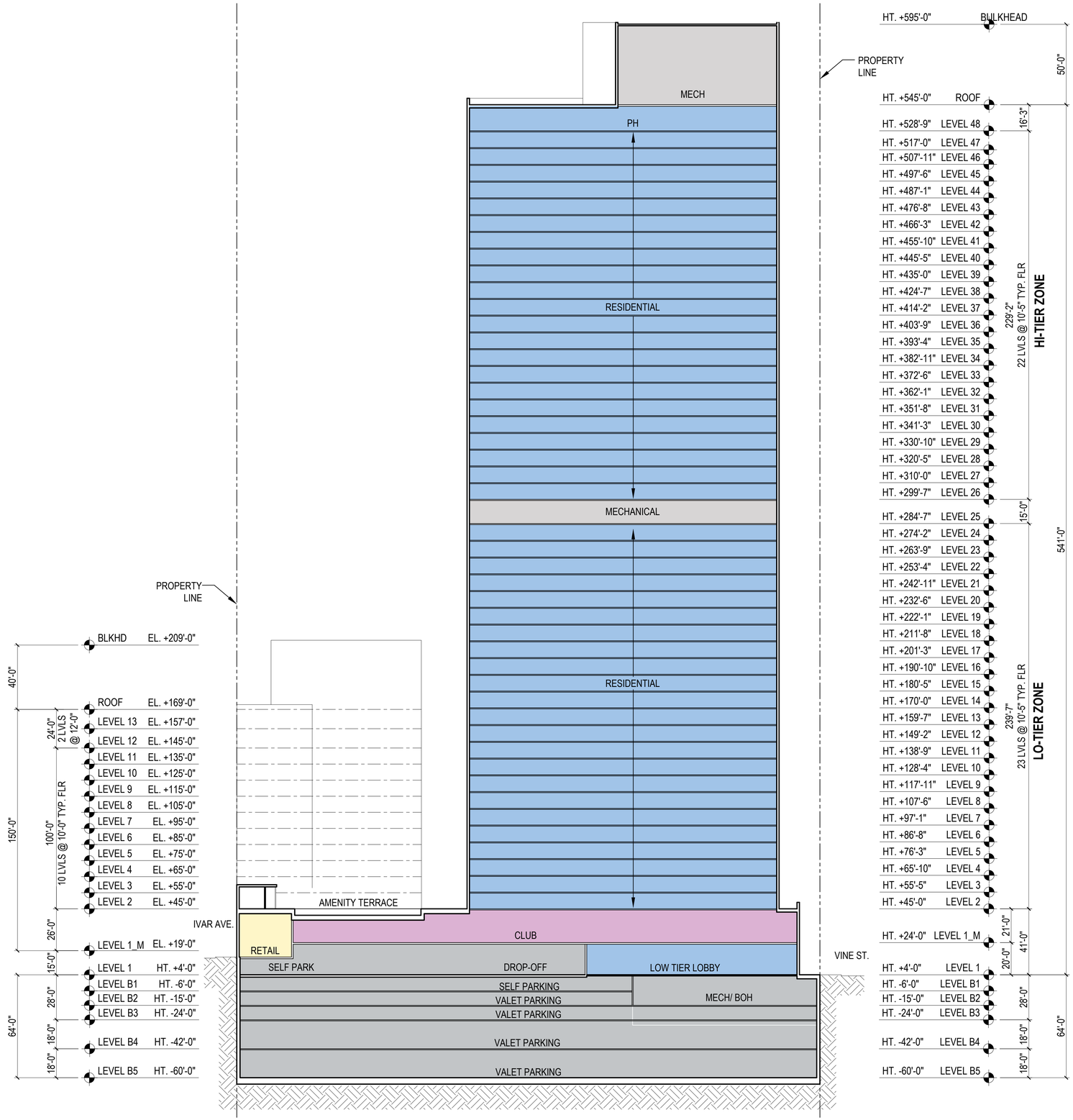

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - BUILDING SECTION E-W

SCALE: 1/32"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

HOLLYWOOD CENTER

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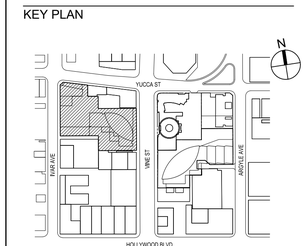
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - BUILDING SECTION_E-W

DRAWING NO:

A-301

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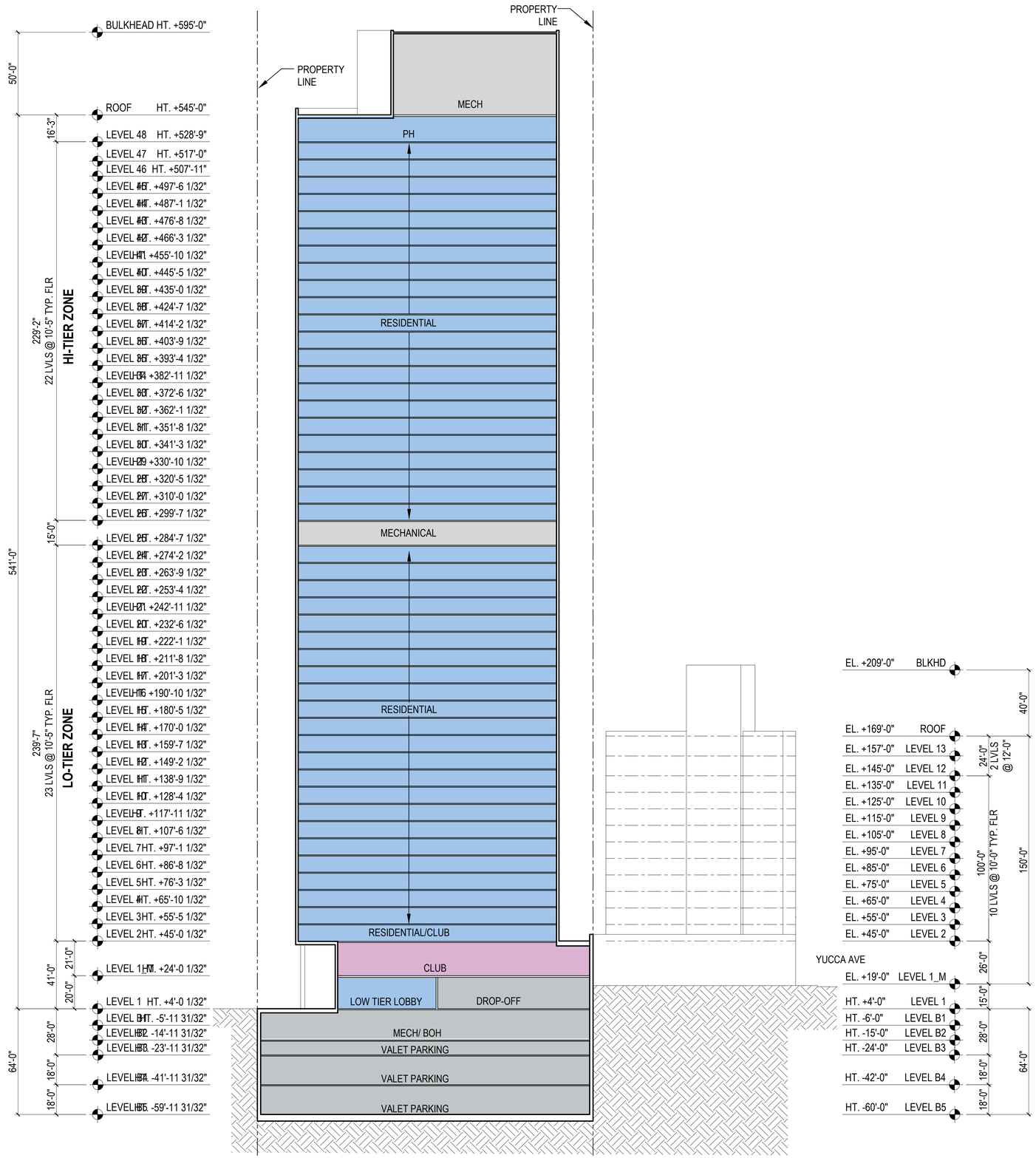

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE_BUILDING SECTION N-S

SCALE: 1/32"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

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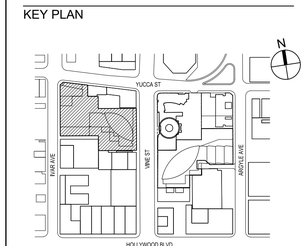
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - BUILDING SECTION_N-S

DRAWING NO:

A-302

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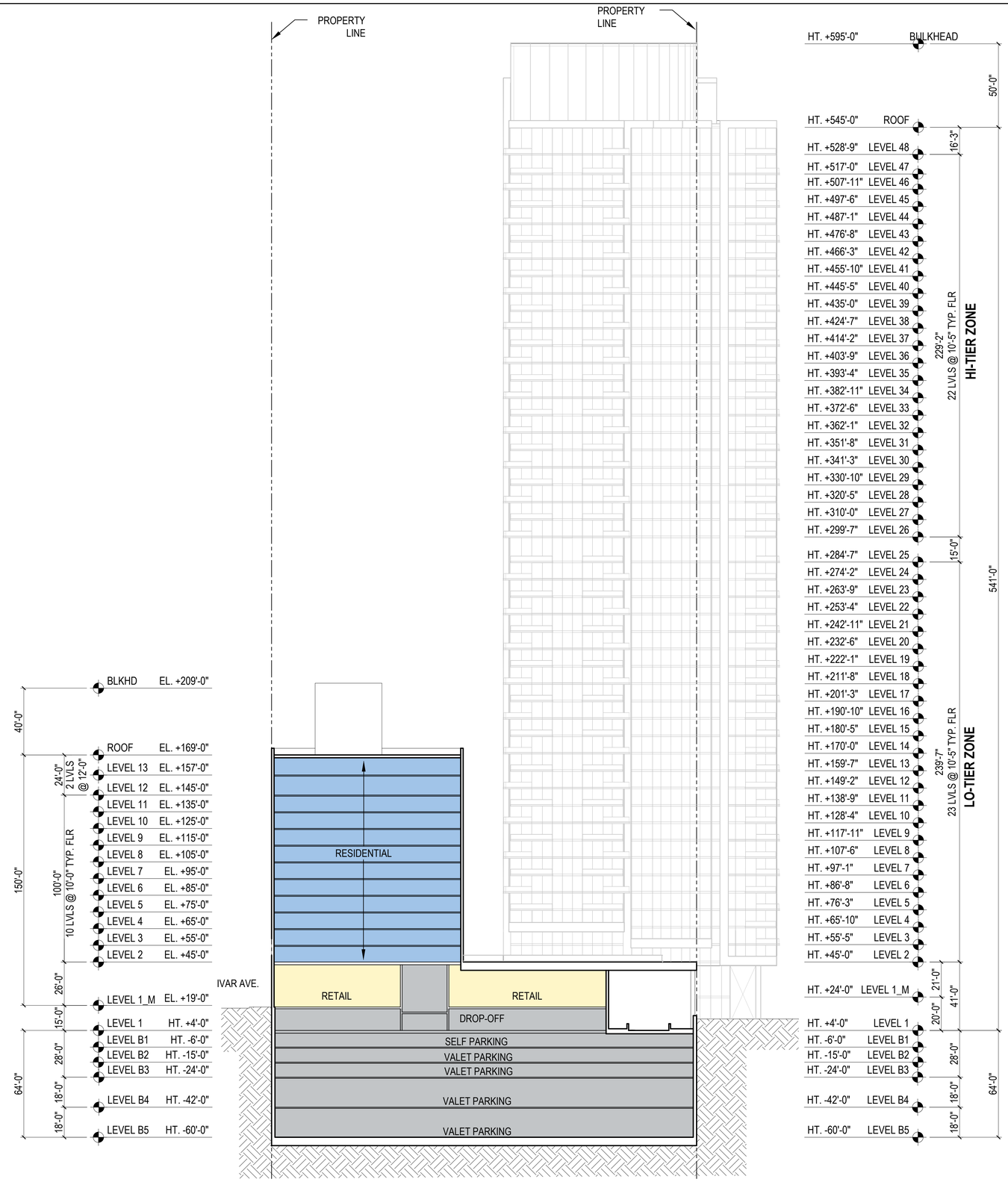

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE_BUILDING SECTION N-S

SCALE: 1/32"= 1'-0"

1

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES - WEST SITE

1. REFER TO SHEET 1, 2, 3, & 4 / A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET 5 / A-161 FOR TYP. SENIOR UNIT PLANS
3. REFER TO A-151, A-152 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 & A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

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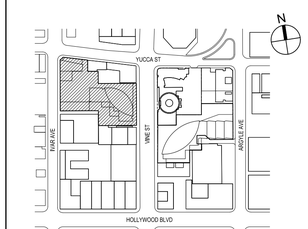
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - BUILDING SECTION_N-S

DRAWING NO:

A-303

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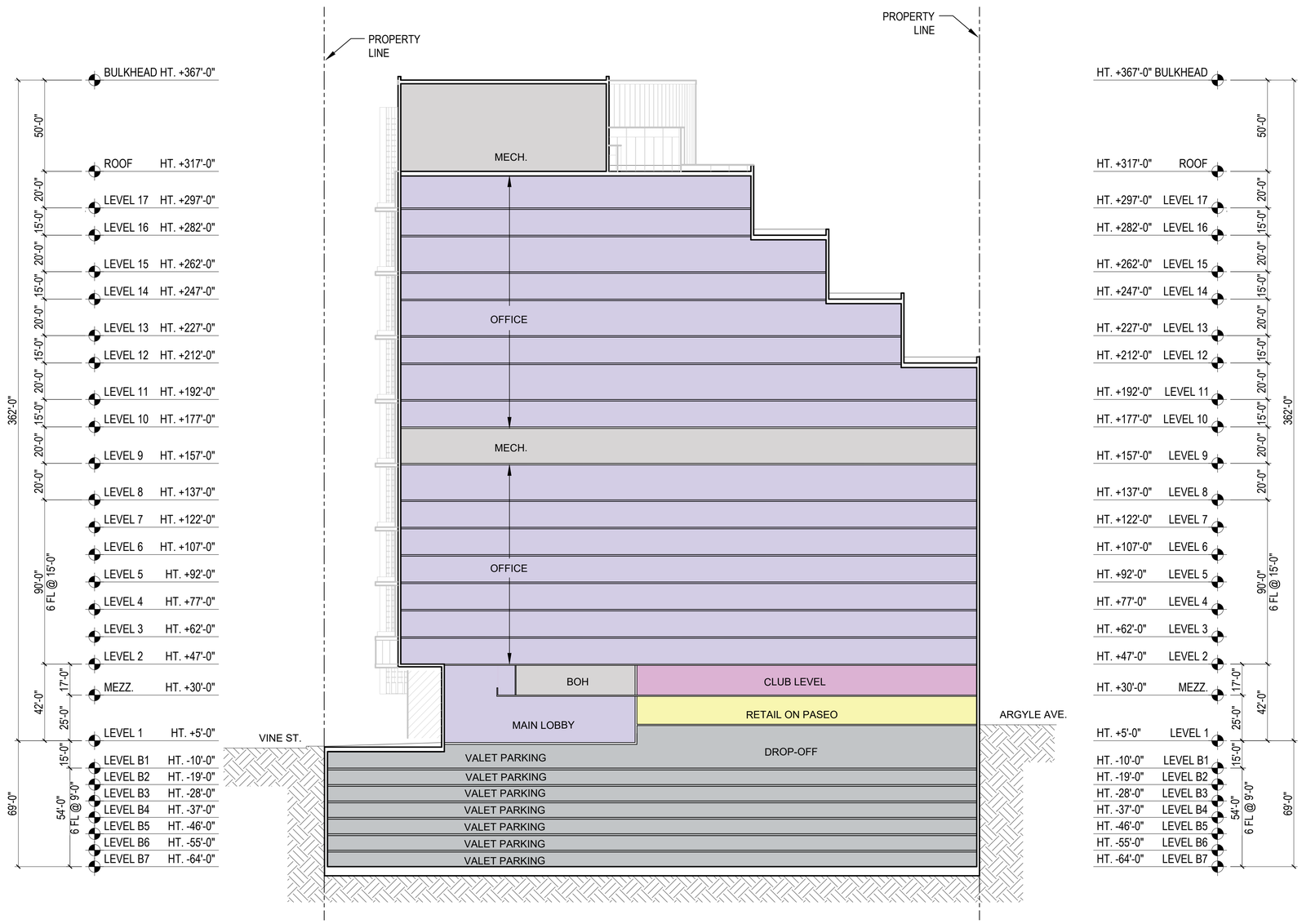
LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS



N
0' 10' 30' 60' 100'
SCALE: 1/32" = 1'-0"

EAST SITE_BUILDING SECTION E-W
SCALE: 1/32"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT
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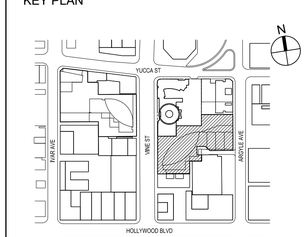
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - BUILDING SECTION_E-W

DRAWING NO:
A-304

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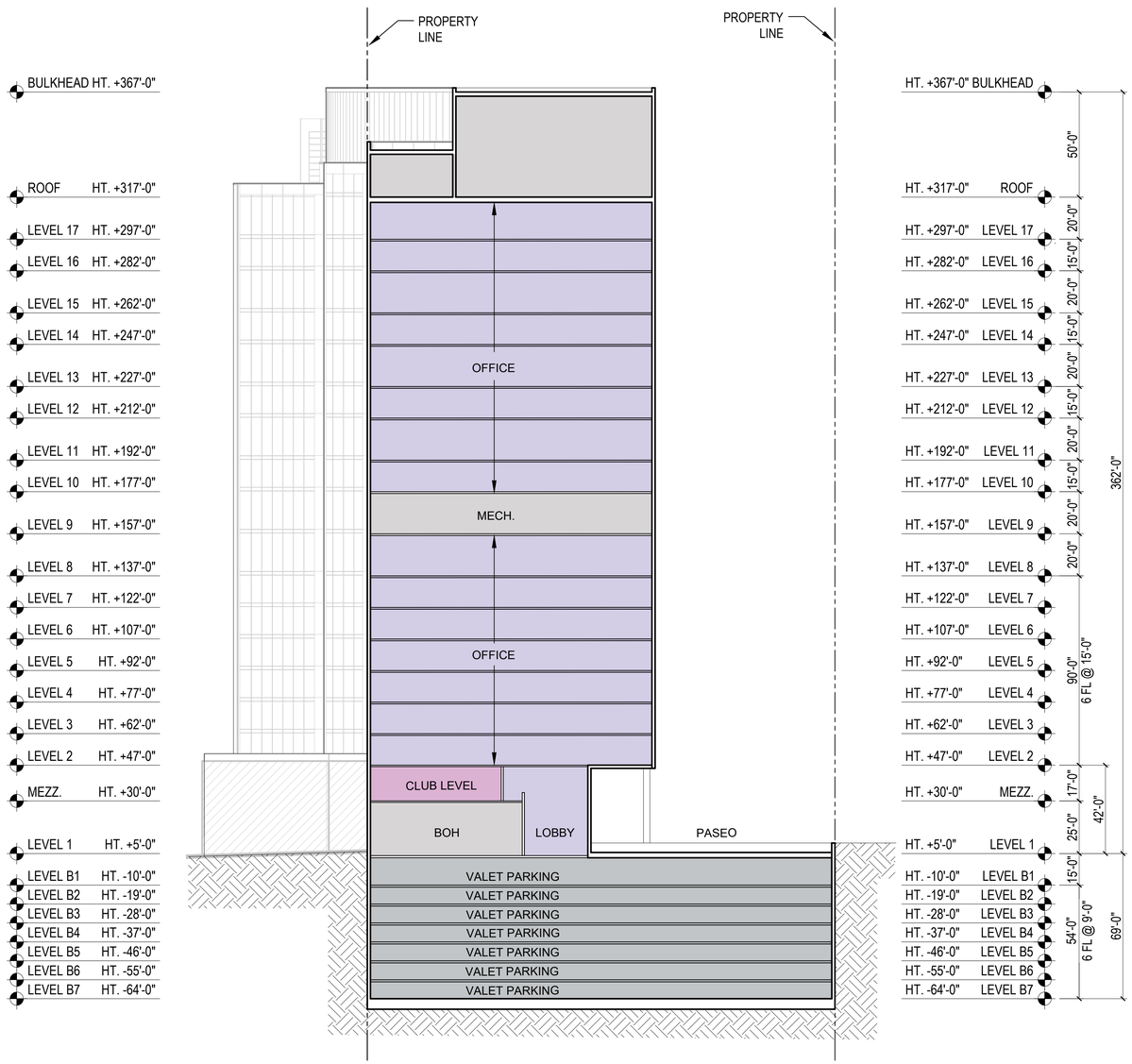
LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS



N
0' 10' 30' 60' 100'
SCALE: 1/32" = 1'-0"

EAST SITE_BUILDING SECTION N-S
SCALE: 1/32"= 1'-0"
1

HOLLYWOOD CENTER

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F: 212.595.1831

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KPFF
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Los Angeles, CA 90017
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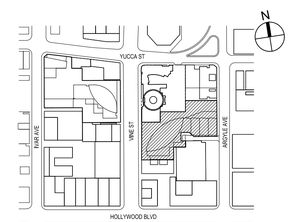
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - BUILDING SECTION_N-S

DRAWING NO:
A-305

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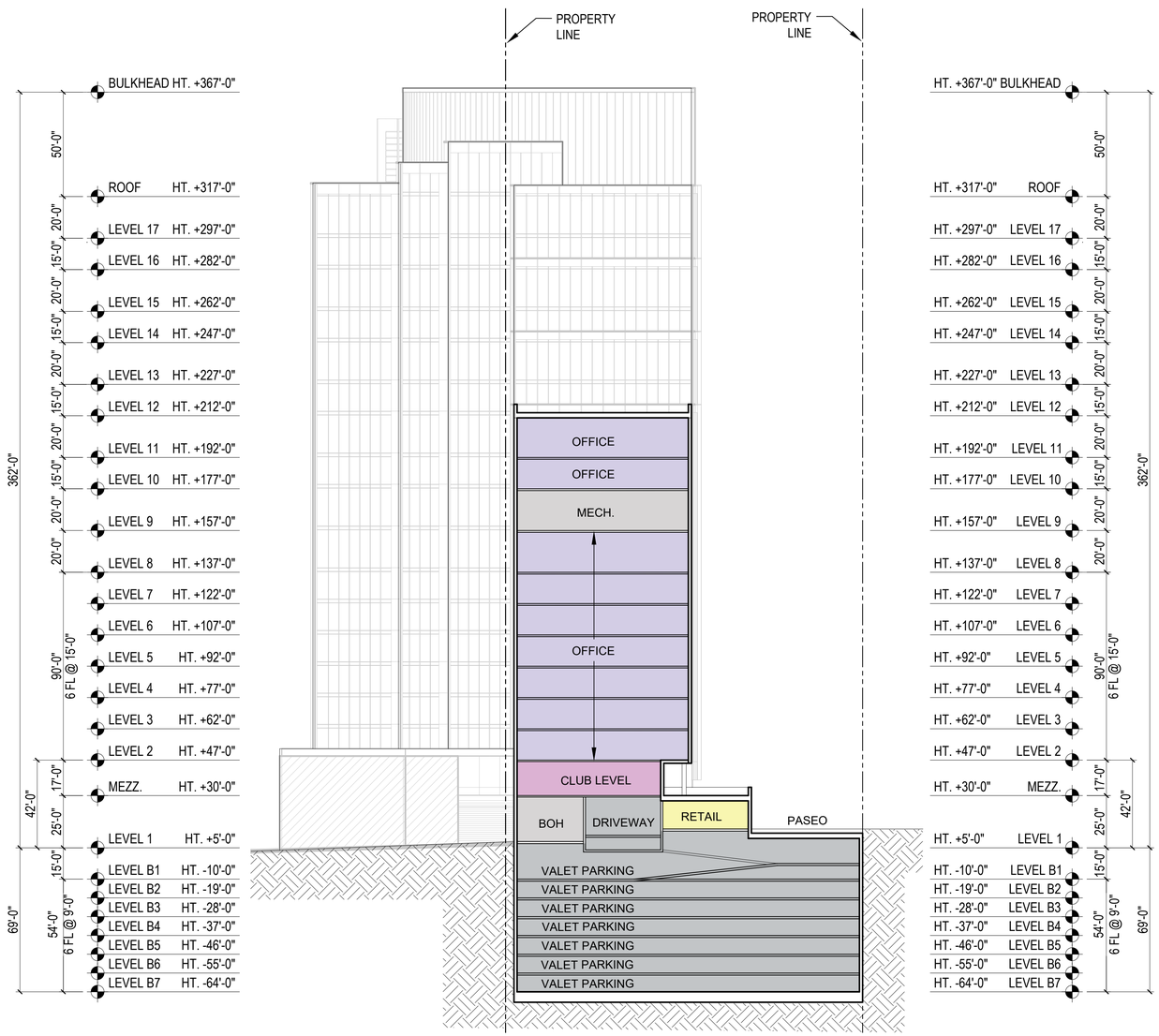

LEGEND
- OFFICE
- AMENITY
- RETAIL/ RESTAURANT
- B.O.H/ BUILDING SERV. / MECH.
- PARKING

SHEET NOTES
1. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR SPACE
2. REFER TO A-153 & LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
3. REFER TO SHEETS A-143 FOR ENLARGED RESTAURANT RETAIL PLANS

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	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - BUILDING SECTION_N-S

DRAWING NO:
A-306

N
0' 10' 30' 60' 100'
SCALE: 1/32" = 1'-0"

EAST SITE_BUILDING SECTION N-S
SCALE: 1/32"= 1'-0"
1

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HOLLYWOOD CENTER

AERIAL LOOKING SOUTH WEST

NTS

1

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	JUNE 2020	ENTITLEMENT SUBMISSION

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PROJECT NO: 1350

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DRAWING TITLE:

PROJECT RENDERING

DRAWING NO:

A-401

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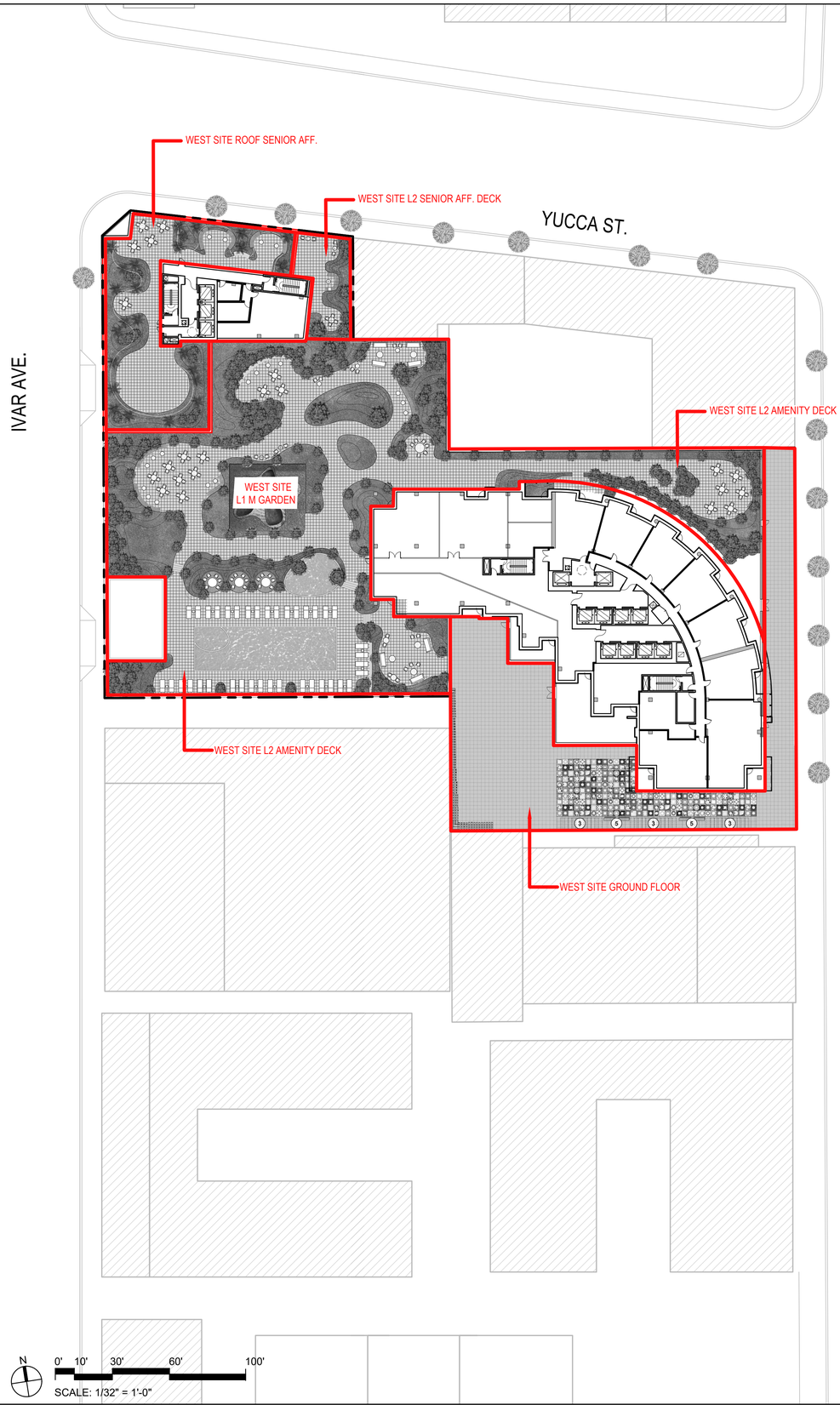

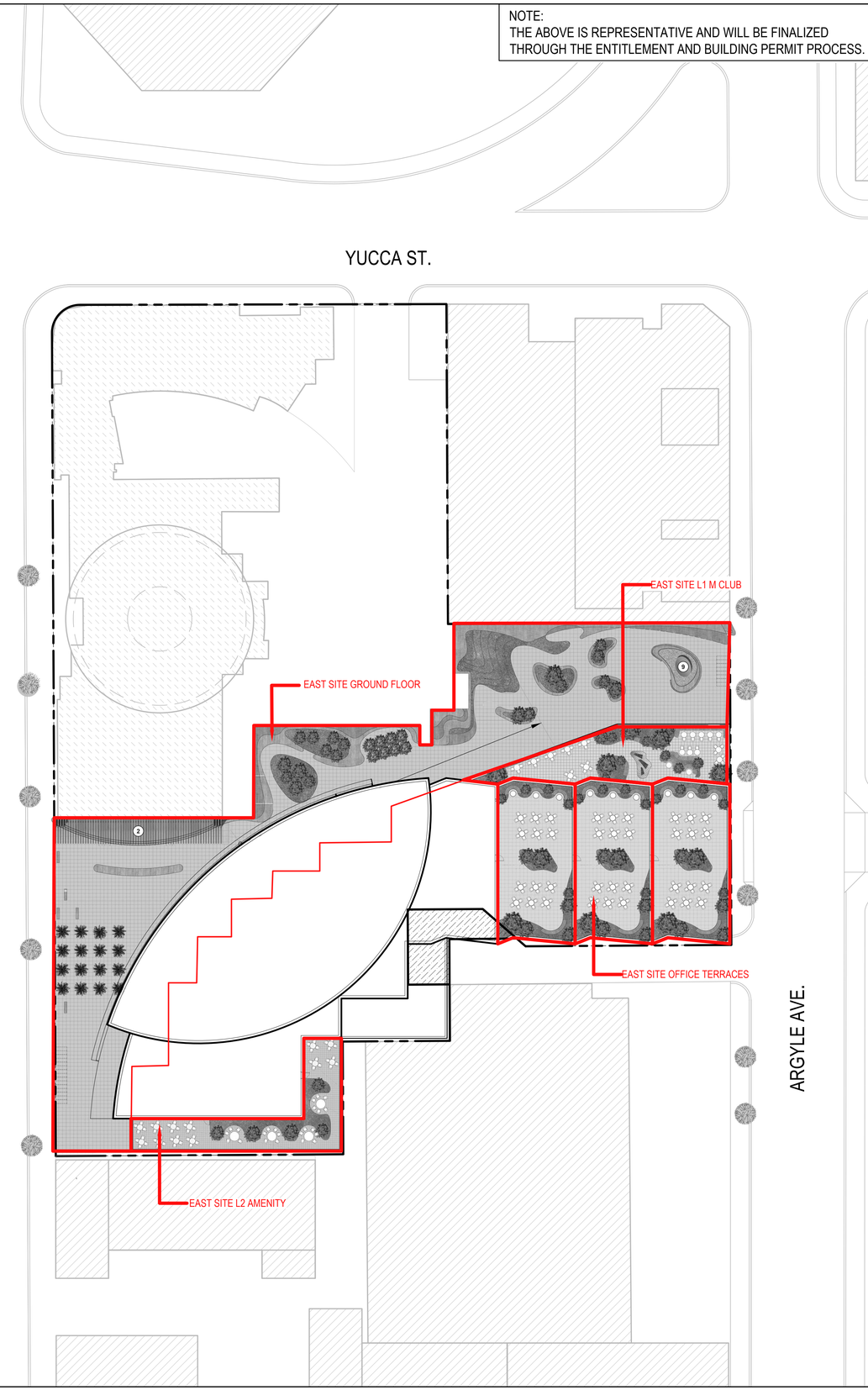

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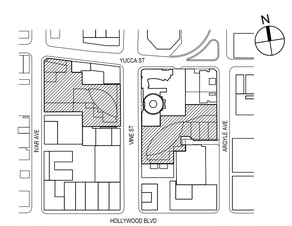
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

OVERALL LANDSCAPE SITE PLAN

DRAWING NO:

L-001

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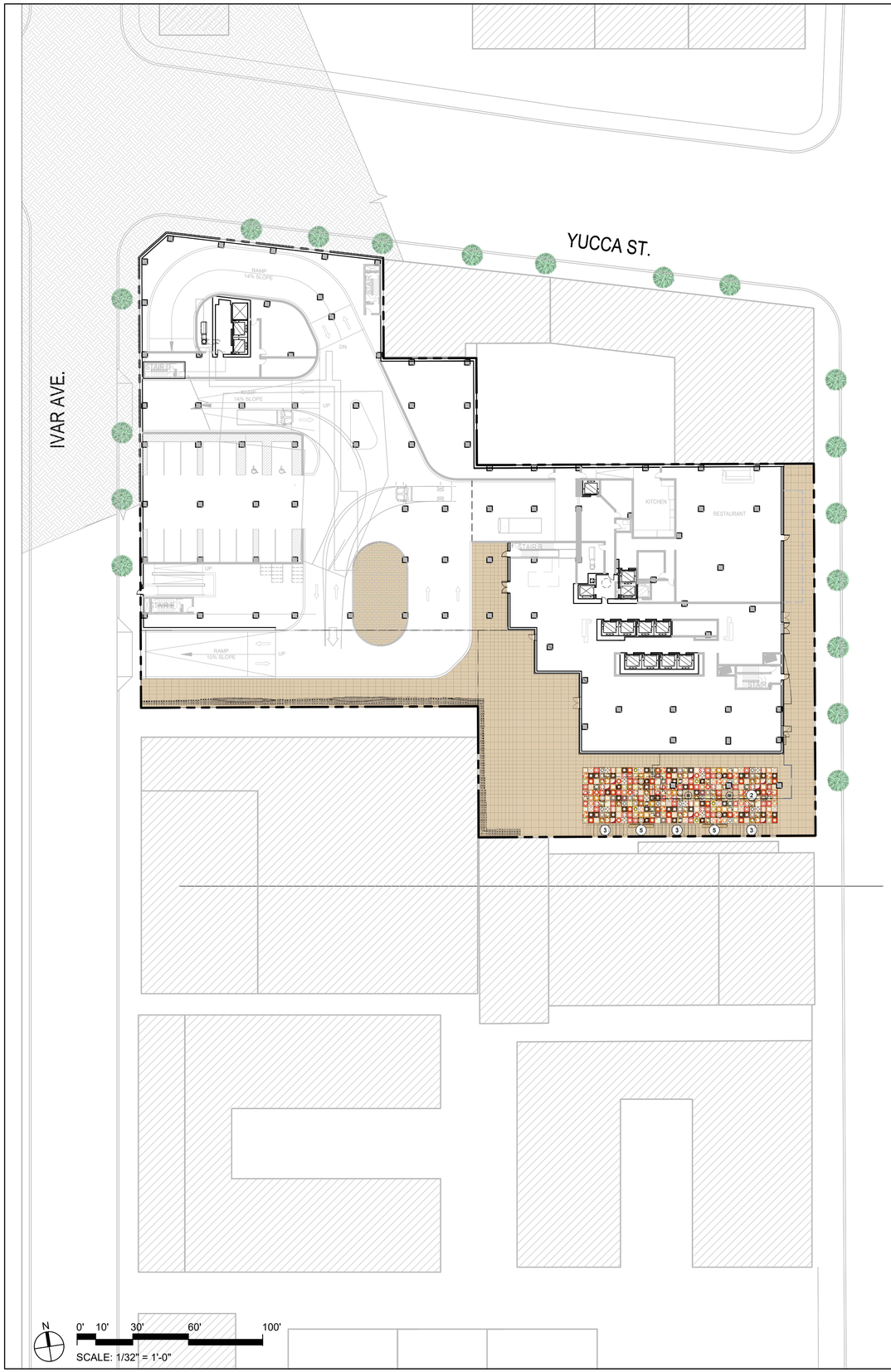

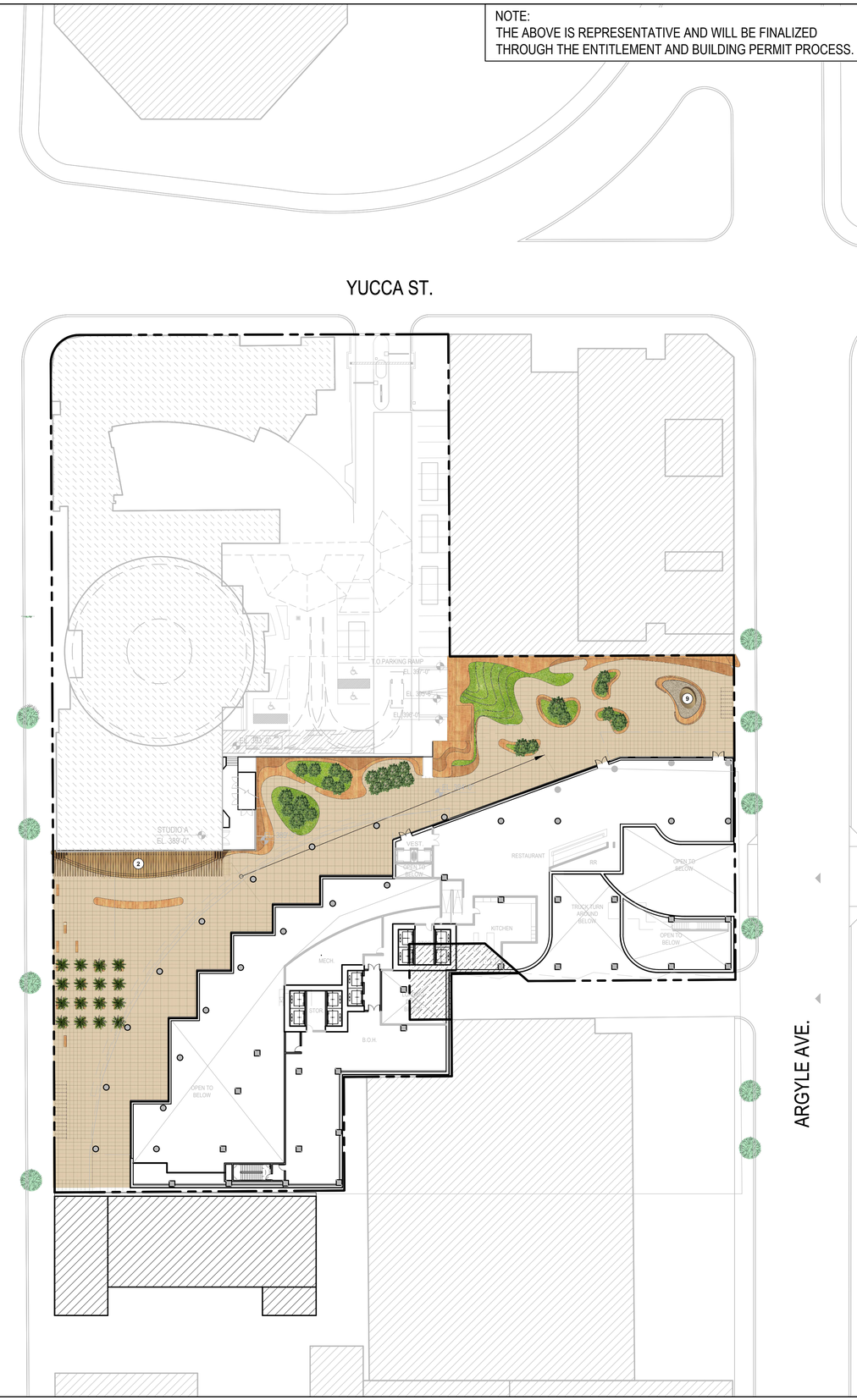

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

HOLLYWOOD CENTER

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

OVERALL
GROUND FLOOR
SITE PLAN

DRAWING NO:

L-101

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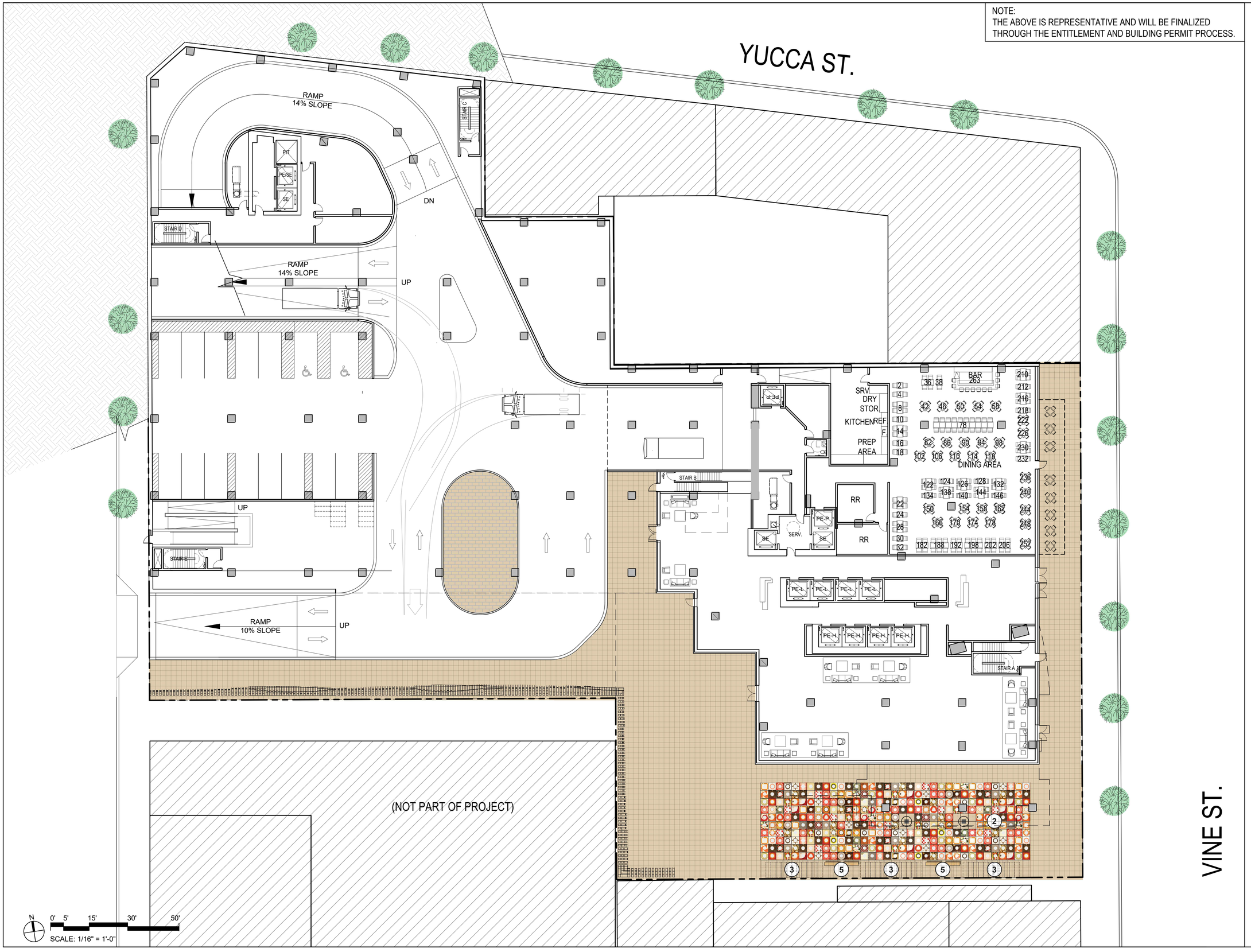

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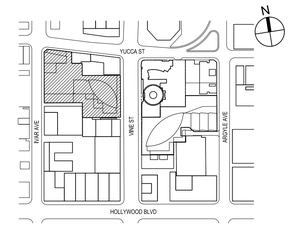
NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE
GROUND FLOOR
PLAN

DRAWING NO:

L-102

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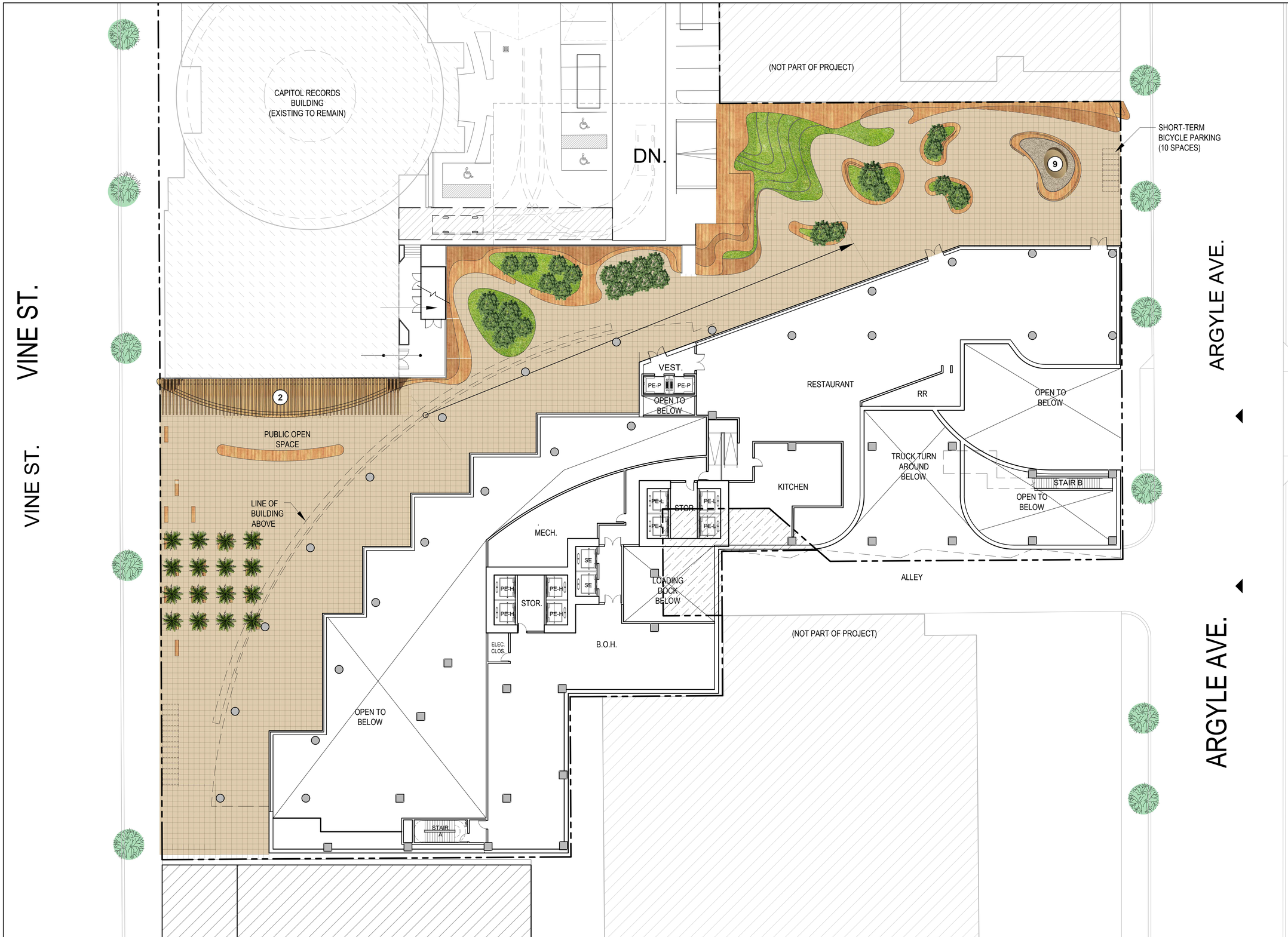

N

0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

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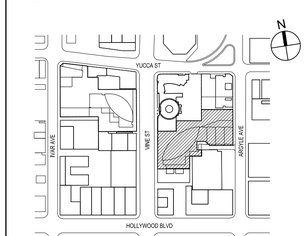
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE
GROUND FLOOR
SITE PLAN

DRAWING NO:

L-103

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PERENNIAL REFERENCE IMGAES

SILVER WORMWOOD
Artemisia ludoviciana

COMMON YARROW
Achillea millefolium

REDFLOWER BUCKWHEAT
Eriogonum grande

APRICOT MALLOW
Sphaeralcea ambigua

STICKY MONKEY FLOWER
Mimulus aurantiacus

WOOLLY BLUECURLS
Trichostema lanatum

WINIFRED GILMAN SAGE
Salvia clevelandii 'Winifred Gilman'

DEER GRASS
Muhlenbergia rigens

CALIFORNIA BUCKWHEAT
Eriogonum fasciculatum

SEASIDE DAISY
Erigeron glaucus

CALIFORNIA FUCHSIA
Epilobium canum

CALIFORNIA COASTAL SUNFLOWER
Encelia californica

PENSTEMON 'MARGARITA BOP'
Penstemon heterophyllus

BLUE-EYED GRASS
Sisyrinchium bellum

SHRUBS REFERENCE IMGAES

LEMONADE BERRY
Rhus integrifolia

MANZANITA
Arctostaphylos auriculata

JAMES ROOF COAST SILKTASSEL
Garrya elliptica 'James Roof'

TOYON
Heteromeles arbutifolia

BLADDERPOD
Peritoma (Isomeris) arborea

ISLAND TREE MALLOW
Malva (Lavatera) assurgentiflora

CATALINA CEANOTHUS
Ceanothus arboreus

TREE REFERENCE IMGAES

KING PALM
Archontophoenix alexandrae

CAMPHOR TREE
Cinnamomum camphora

KEY LIME
Citrus × aurantiifolia

CRAPE MYRTLE
Lagerstroemia indica

NOTE:
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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
PLANTING REFERENCE IMAGES

DRAWING NO:
L-113-1

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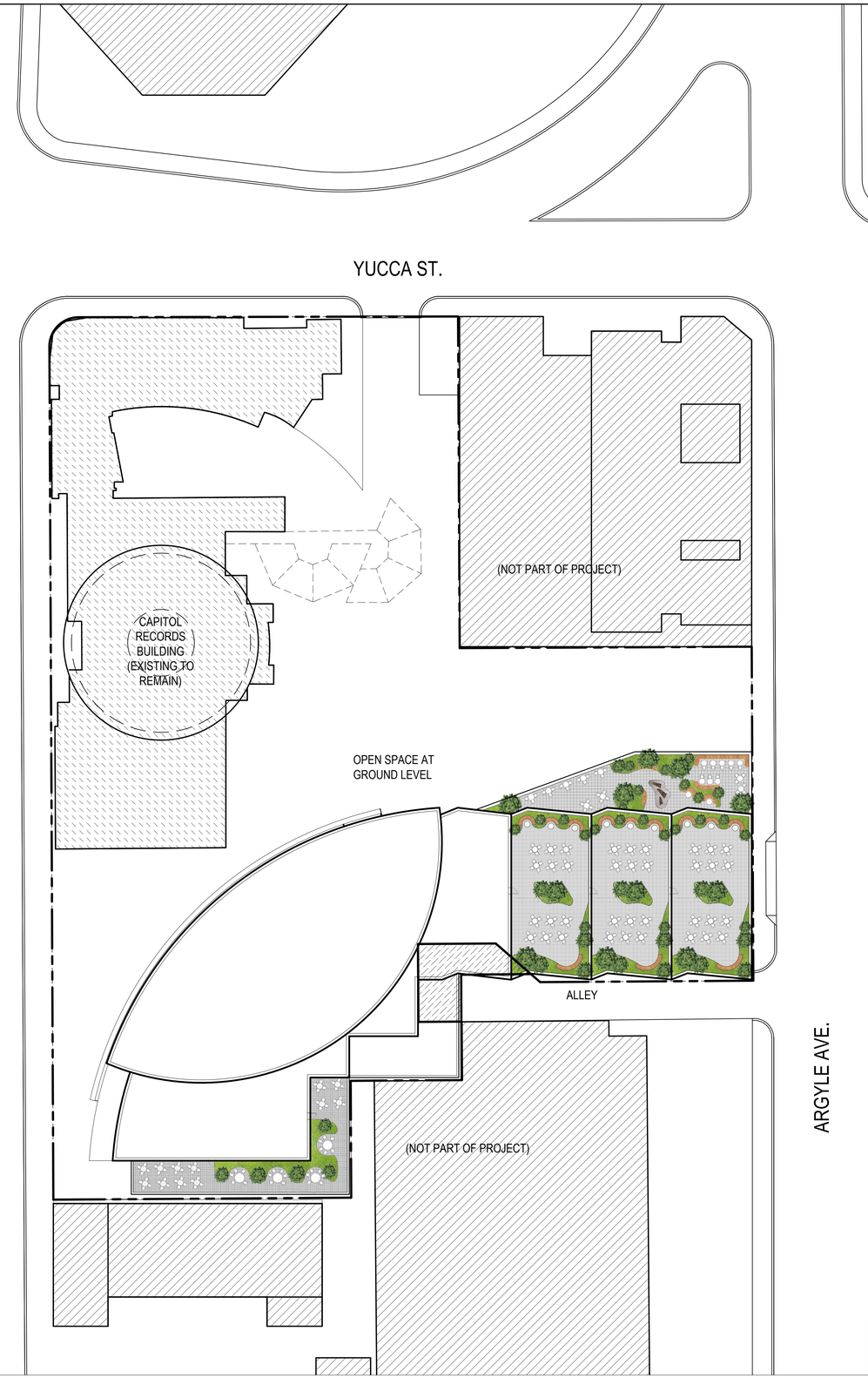

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

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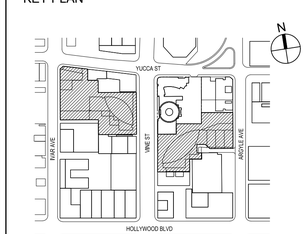
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:
OVERALL AMENITY TERRACES SITE PLAN

DRAWING NO:

L-121

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N

0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

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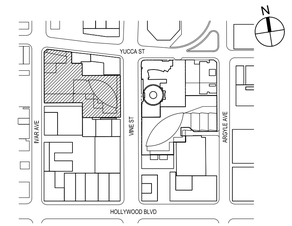
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN



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PROJECT NO: 1350

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DRAWING TITLE:

WEST SITE AMENITY TERRACES PLAN

DRAWING NO:

L-122

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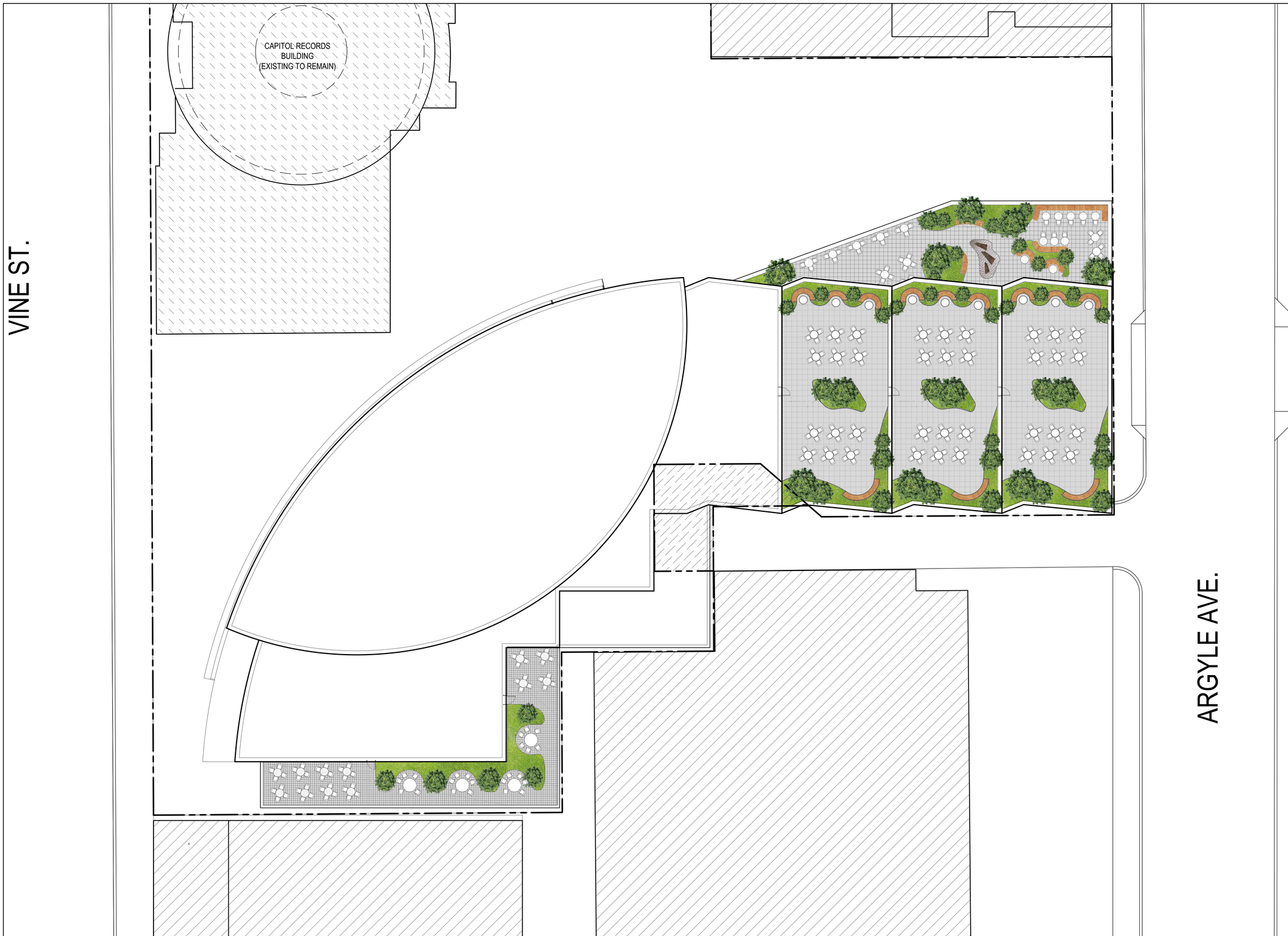

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

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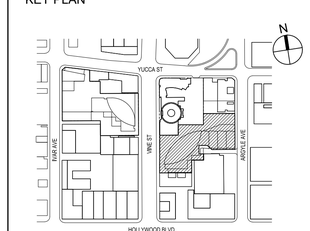
KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE
AMENITY
TERRACES PLAN

DRAWING NO:

L-123

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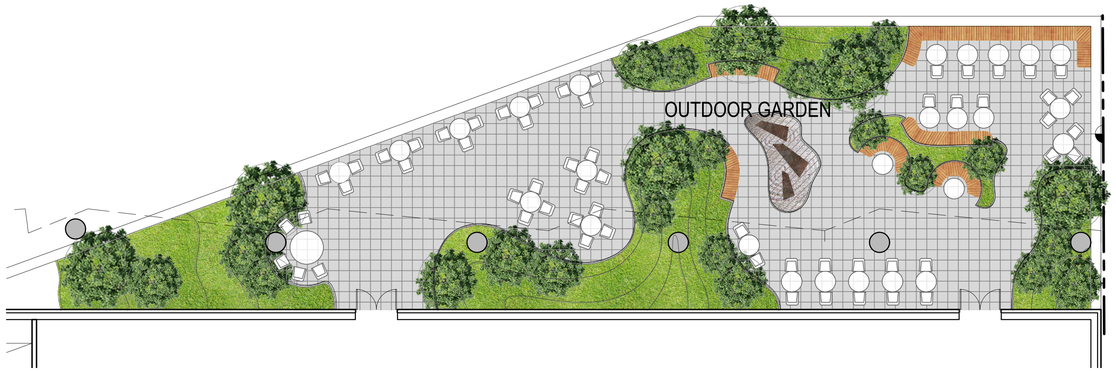
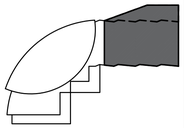
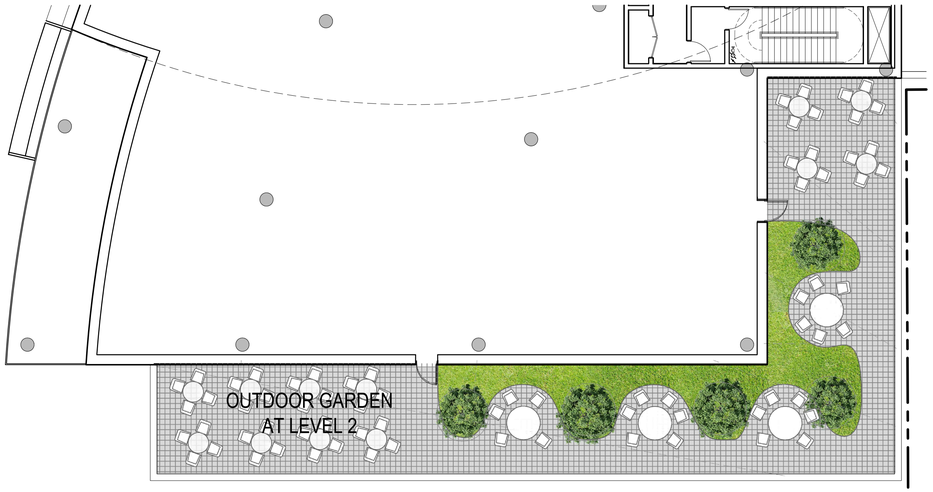
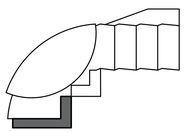
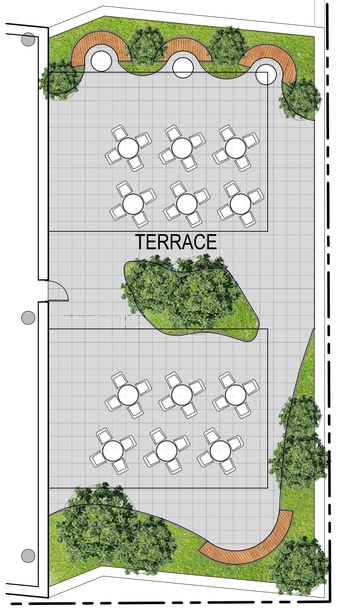


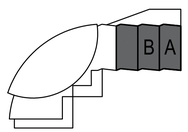


ENLARGED PLAN_AMENITY TERRACE 3 AT EAST SITE (3)
SCALE: 3/32"= 1'-0"









N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

ENLARGED PLAN_AMENITY TERRACE 2 AT EAST SITE (2)
SCALE: 3/32"= 1'-0"

ENLARGED PLAN_TYPICAL AMENITY TERRACE 1A,1B,1C AT EAST SITE (1)
SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

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NO.	DATE	ISSUANCE
	JUNE 2020	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST AMENITY LANDSCAPE ENLARGED

DRAWING NO:
L-124

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PERENNIAL REFERENCE IMGAES

SILVER WORMWOOD
Artemisia ludoviciana

COMMON YARROW
Achillea millefolium

REDFLOWER BUCKWHEAT
Eriogonum grande

APRICOT MALLOW
Sphaeralcea ambigua

STICKY MONKEY FLOWER
Mimulus aurantiacus

WOOLLY BLUECURLS
Trichostema lanatum

WINIFRED GILMAN SAGE
Salvia clevelandii 'Winifred Gilman'

DEER GRASS
Muhlenbergia rigens

CALIFORNIA BUCKWHEAT
Eriogonum fasciculatum

SEASIDE DAISY
Erigeron glaucus

CALIFORNIA FUCHSIA
Epilobium canum

CALIFORNIA COASTAL SUNFLOWER
Encelia californica

PENSTEMON 'MARGARITA BOP'
Penstemon heterophyllus

BLUE-EYED GRASS
Sisyrinchium bellum

SHRUBS REFERENCE IMGAES

LEMONADE BERRY
Rhus integrifolia

MANZANITA
Arctostaphylos auriculata

JAMES ROOF COAST SILKTASSEL
Garrya elliptica 'James Roof'

TOYON
Heteromeles arbutifolia

BLADDERPOD
Peritoma (Isomeris) arborea

ISLAND TREE MALLOW
Malva (Lavatera) assurgentiflora

CATALINA CEANOTHUS
Ceanothus arboreus

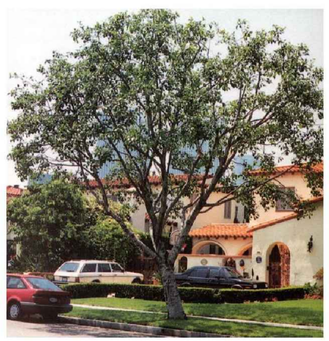
TREE REFERENCE IMGAES

KING PALM
Archontophoenix alexandrae

WESTERN REDBUD
Cercis occidentalis

CRAPE MYRTLE
Lagerstroemia indica

GOLD MEDALLION TREE
Cassia leptophylla



ITALIAN ALDER
Alnus cordata

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

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KEY PLAN

SCALE: AS INDICATED
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DRAWING TITLE:
AMENITY TERRACES
PLANTING
REFERENCES
IMAGE

DRAWING NO:
L-133

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